

# BINGHAM COUNTY COMMISSIONERS

Whitney Manwaring, Chairman

Eric Jackson

Drew Jensen



Lindsey Gluch, Commission Clerk  
501 N. Maple Room 204  
Blackfoot, ID 83221  
Phone (208) 782-3013  
Fax (208) 785-4131

Wednesday, April 1, 2026

- |            |  |               |
|------------|--|---------------|
| 8:15 a.m.  | Approval of Commissioners Agenda.  | {ACTION ITEM} |
| 8:15 a.m.  | Approval of Cash Warrants, Claims, Administrative Documents and Personnel Action Forms.  | {ACTION ITEM} |
| 8:15 a.m.  | Approval of Tax Inquiry Forms submitted by the County Treasurer.   | {ACTION ITEM} |
| 8:15 a.m.  | Approval of Reason & Decision for Comprehensive Plan Amendment and Mountain Aura Estates Subdivision.  | {ACTION ITEM} |
| 8:15 a.m.  | Approval of Bingham County Autism Awareness Month Proclamation.  | {ACTION ITEM} |
| 8:15 a.m.  | Approval of Bingham County Resolution 2026-25- Surplus Property for The IT Department.   | {ACTION ITEM} |
| 8:30 a.m.  | Weekly update meeting with Sheriff Jeff Gardner.   |               |
| 8:45 a.m.  | Meeting to sign Copper Meadows II Subdivision Development Agreement.   | {ACTION ITEM} |
| 9:00 a.m.  | Weekly update meeting with Dusty Whited- Public Works Director.  |               |
| 9:00 a.m.  | Approval & signing of General Notice to Destroy Noxious Weeds, to be Published.  | {ACTION ITEM} |
| 9:00 a.m.  | Request submitted by Caden Fuhrman, Eagle Rock Engineering, regarding Request for the county to accept a 7-year extended pavement warranty As risk management measure for North River Estates. | {ACTION ITEM} |
| 10:30 a.m. | Bi-weekly update meeting with Laraine Pope- Human Resources Director.  | {ACTION ITEM} |
| 11:00 a.m. | Executive Session pursuant to Idaho Code Section 74-206(1)(d), to consider Records that are exempt from public disclosure.   | {ACTION ITEM} |
| 11:30 a.m. | Discussion & decision regarding hiring a company to mow North Bingham County Park and Sportsmans Park- Requested by Scott Reese.   | {ACTION ITEM} |
| 2:00 p.m.  | Weekly update meeting with Paul Rogers- County Civil Attorney.   |               |

“Potato Capital”



Meeting Date: April 1, 2026  
Meeting Time: 8:15 am

## REQUEST FOR MEETING WITH BINGHAM COUNTY COMMISSIONERS FORM

The Board of County Commissioner's hold meetings various days throughout the week, which are coordinated with the Commission Clerk. Per Idaho Code §74-204(1), the Board cannot hold a meeting without less than 48 hours' notice and posting on the Commission Agenda. Any person(s) needing special accommodations should contact the Lindsey Gluch, Commission Clerk, at (208)785-3013.

Name: **Lindsey Gluch**

Email: **Lgluch@binghamid.gov**

Phone Number: **(208)782-3013** Address: **501 North Maple, Blackfoot**

1. What is the topic of discussion that you wish the Board to have?

a. **Approval of Tax Inquiry Forms**

2. Approximately how much time will you need for this agenda item?

a. **5 minutes**

3. Will you be requesting that the Board make a decision?

**Yes.**

4. Have all supporting documents been included with this form? If not, please note that your meeting may not be scheduled until all necessary documentation has been provided to the Commission Clerk.

**Yes. The Tax Inquiry Forms are attached.**

5. Please provide the name and contact information of the individuals that you would like to be invited to the meeting. (Include name, telephone number and email address if known)

**N/A**

Please hand deliver or email this completed form, along with all supporting documents to Lindsey Gluch at [Lgluch@binghamid.gov](mailto:Lgluch@binghamid.gov), at least 24 hours prior to your scheduled meeting time.

TAX INQUIRY

The Board of Bingham County Commissioners hereby take the following action:

Tax # MH352S30TCA02A Year(s) 2025

on behalf of Rico, Jason Gomez

Having:  Personally met this day  Telephoned

It was agreed to allow:

Tax cancellation of \$ 107.86 Interest excused of \$ 1.55

Penalty cancellation of \$ 1.08 Fees excused of \$ \_\_\_\_\_

Solid Waste fee cancellation of \$ \_\_\_\_\_

Adjust value from \$ \_\_\_\_\_ to \$ \_\_\_\_\_ Difference \$ \_\_\_\_\_

Allow an extension until \_\_\_\_\_

Request a reappraisal by Assessor  
(Scheduled for \_\_\_\_\_)

The reason for this action is due to:

Hardship  Error  Homeowners

Other comments:

Non deliverable mail - RV gone

Signed and approved this 27 day of March, 2026

Submitted by:

Commissioners

Assessor

Janna Beal

Chairman

Treasurer

by Allison Porter

Board Member

Board Member

Total \$ 110.49



**BINGHAM COUNTY TREASURER**

**TANNA BEAL**

501 N MAPLE #210  
 BLACKFOOT ID 83221  
 TELEPHONE: (208) 782-3092

**TAX MASTER INQUIRY**

PARCEL NUMBER  
**MH352S30TCA02A**

TAX CODE AREA  
 015-000

LEGAL DESCRIPTION  
 T2S R35E SEC 30  
 TOWN & COUNTRY TR CT #A-2  
 RV TRAILER

PRIMARY PROPERTY ADDRESS  
 540 W HWY 26 SPC A-2  
 BLACKFOOT ID 83221

RICO JASON GOMEZ  
 540 W HWY 26 SPC A-2  
 BLACKFOOT ID 83221

<b>BALANCE DUE</b>	INTEREST DATE 03/27/2026
<b>\$ 110.49</b>	BALANCE AS OF 03/27/2026 11:55 am
TOTAL	

Tax Year	Assessment Roll				Bill Number: 3062248
2025	PRIMARY	FIRST HALF	SECOND HALF	FULL YEAR	VALUATION
<b>TAX / CERTIFICATION</b>					
Charges	\$	53.93	\$ 53.93	\$ 107.86	TAXABLE VALUE: \$ 11,250
Adjustments	\$	0	\$ 0	\$ 0	
Payments	\$	0	\$ 0	\$ 0	
<b>LATE CHARGE</b>					
Charges/Adjustments	\$	1.08	\$ 0	\$ 1.08	Tax Code Area: 015-000 Levy: 0.005141433
Payments	\$	0	\$ 0	\$ 0	Tax Charge: \$ 57.86
<b>FEEs</b>					
Charges/Adjustments	\$	0	\$ 0	\$ 0	Certifications: \$ 50.00
Payments	\$	0	\$ 0	\$ 0	TOTAL CHARGES: \$ 107.86
<b>INTEREST</b>					
Charges/Adjustments	\$	1.55	\$ 0	\$ 1.55	
Payments	\$	0	\$ 0	\$ 0	
<b>AMOUNT DUE</b>	\$	<b>56.56</b>	\$ <b>53.93</b>	\$ <b>110.49</b>	

The amount due shown here is as of 11:55 am on March 27, 2026, with interest calculated to March 27, 2026, and is subject to additional charges, fees and/or interest. Contact Treasurer's Office for updated amount due before sending payment.

TAX INQUIRY

The Board of Bingham County Commissioners hereby take the following action:

Tax # MH352S32RV2110A Year(s) 2025

on behalf of Olmos, Evangelina  
Having:  Personally met this day  Telephoned

It was agreed to allow:

Tax cancellation of \$ 91.38 Interest excused of \$ 1.31

Penalty cancellation of \$ .91 Fees excused of \$ \_\_\_\_\_

Solid Waste fee cancellation of \$ \_\_\_\_\_

Adjust value from \$ \_\_\_\_\_ to \$ \_\_\_\_\_ Difference \$ \_\_\_\_\_

Allow an extension until \_\_\_\_\_

Request a reappraisal by Assessor  
(Scheduled for \_\_\_\_\_)

*Total \$103.60*

The reason for this action is due to:

Hardship  Error  Homeowners

Other comments:  
Non deliverable mail - RV gone

Signed and approved this 27 day of March, 2026

Submitted by:

Commissioners

Assessor

Chairman

Janna Beal

Treasurer

Board Member

by Allison Porter

Board Member



**BINGHAM COUNTY TREASURER**

**TANNA BEAL**

501 N MAPLE #210  
 BLACKFOOT ID 83221  
 TELEPHONE: (208) 782-3092

**TAX MASTER INQUIRY**

PARCEL NUMBER  
**MH352S32RV2110A**

TAX CODE AREA  
 041-000

LEGAL DESCRIPTION  
 T2S R35E SEC 32  
 1981 BRODMORE 13X66  
 RIVERVIEW VILLA SP 11

PRIMARY PROPERTY ADDRESS  
 429 W HWY 39 # 11  
 BLACKFOOT ID 83221

OLMOS EVANGELINA H  
 429 W HWY 39 SPC 11  
 BLACKFOOT ID 83221

<b>BALANCE DUE</b>	INTEREST DATE 03/27/2026
<b>\$ 103.60</b>	BALANCE AS OF 03/27/2026 11:46 am
TOTAL	

Tax Year Assessment Roll

Bill Number: 3062358

2025 PRIMARY	FIRST HALF	SECOND HALF	FULL YEAR
<b>TAX / CERTIFICATION</b>			
Charges	\$ 45.69	\$ 45.69	\$ 91.38
Adjustments	\$ 0	\$ 0	\$ 0
Payments	\$ 0	\$ 0	\$ 0
<b>LATE CHARGE</b>			
Charges/Adjustments	\$ 0.91	\$ 0	\$ 0.91
Payments	\$ 0	\$ 0	\$ 0
<b>FEEs</b>			
Charges/Adjustments	\$ 5.00	\$ 5.00	\$ 10.00
Payments	\$ 0	\$ 0	\$ 0
<b>INTEREST</b>			
Charges/Adjustments	\$ 1.31	\$ 0	\$ 1.31
Payments	\$ 0	\$ 0	\$ 0
<b>AMOUNT DUE</b>	<b>\$ 52.91</b>	<b>\$ 50.69</b>	<b>\$ 103.60</b>

VALUATION	
TAXABLE VALUE:	\$ 8,050

CHARGES		
Tax Code Area:	041-000	Levy: 0.005141433
Tax Charge:	\$	41.38
Certifications:	\$	50.00
<b>TOTAL CHARGES:</b>	<b>\$</b>	<b>91.38</b>

The amount due shown here is as of 11:46 am on March 27, 2026, with interest calculated to March 27, 2026, and is subject to additional charges, fees and/or interest. Contact Treasurer's Office for updated amount due before sending payment.

TAX INQUIRY

The Board of Bingham County Commissioners hereby take the following action:

Tax # MH352S30TCB040 Year(s) 2025

on behalf of Boyer, David  
Having:  Personally met this day  Telephoned

It was agreed to allow:

Tax cancellation of \$ 157.96 Interest excused of \$ 2.27

Penalty cancellation of \$ 1.58 Fees excused of \$ \_\_\_\_\_

Solid Waste fee cancellation of \$ \_\_\_\_\_

Adjust value from \$ \_\_\_\_\_ to \$ \_\_\_\_\_ Difference \$ \_\_\_\_\_

Allow an extension until \_\_\_\_\_

Request a reappraisal by Assessor  
(Scheduled for \_\_\_\_\_)

The reason for this action is due to:

Hardship  Error  Homeowners

Other comments:  
Non deliverable mail - RV gone

Signed and approved this 27 day of March, 2026

Submitted by: \_\_\_\_\_ Commissioners

Assessor

Janna Beal

Treasurer

by Allison Porter

Chairman

Board Member

Board Member

*Total \$161.81*



**BINGHAM COUNTY TREASURER**

**TANNA BEAL**

501 N MAPLE #210  
 BLACKFOOT ID 83221  
 TELEPHONE: (208) 782-3092

**TAX MASTER INQUIRY**

PARCEL NUMBER  
**MH352S30TCD040**

TAX CODE AREA  
 015-000

LEGAL DESCRIPTION  
 T2S R35E SEC 30  
 TOWN & COUNTRY TR CT #D-4  
 RV TRAILER

PRIMARY PROPERTY ADDRESS  
 540 W HWY 26 SPC D-4  
 BLACKFOOT ID 83221

BOYER DAVID  
 540 W HWY 26 SPC D-4  
 BLACKFOOT ID 83221

<b>BALANCE DUE</b>	INTEREST DATE 03/27/2026
<b>\$ 161.81</b>	BALANCE AS OF 03/27/2026 11:54 am
TOTAL	

Tax Year	Assessment Roll				Bill Number: 3062287	
2025	PRIMARY	FIRST HALF	SECOND HALF	FULL YEAR	VALUATION	
<b>TAX / CERTIFICATION</b>					<b>TAXABLE VALUE:</b> \$ 21,000	
Charges	\$ 78.98	\$ 78.98	\$ 157.96			
Adjustments	\$ 0	\$ 0	\$ 0			
Payments	\$ 0	\$ 0	\$ 0			
<b>LATE CHARGE</b>					<b>CHARGES</b>	
Charges/Adjustments	\$ 1.58	\$ 0	\$ 1.58	Tax Code Area: 015-000	Levy: 0.005141433	
Payments	\$ 0	\$ 0	\$ 0	Tax Charge:	\$ 107.96	
<b>FEES</b>					Certifications:	\$ 50.00
Charges/Adjustments	\$ 0	\$ 0	\$ 0	<b>TOTAL CHARGES:</b>	\$ 157.96	
Payments	\$ 0	\$ 0	\$ 0			
<b>INTEREST</b>						
Charges/Adjustments	\$ 2.27	\$ 0	\$ 2.27			
Payments	\$ 0	\$ 0	\$ 0			
<b>AMOUNT DUE</b>	<b>\$ 82.83</b>	<b>\$ 78.98</b>	<b>\$ 161.81</b>			

The amount due shown here is as of 11:54 am on March 27, 2026, with interest calculated to March 27, 2026, and is subject to additional charges, fees and/or interest. Contact Treasurer's Office for updated amount due before sending payment.

TAX INQUIRY

The Board of Bingham County Commissioners hereby take the following action:

Tax # MH 352S30TCD/00 Year(s) 2025

on behalf of Mecham, Melissa

Having:  Personally met this day  Telephoned

It was agreed to allow:

Tax cancellation of \$ 132.78 Interest excused of \$ 1.91

Penalty cancellation of \$ 1.33 Fees excused of \$ \_\_\_\_\_

Solid Waste fee cancellation of \$ \_\_\_\_\_

Adjust value from \$ \_\_\_\_\_ to \$ \_\_\_\_\_ Difference \$ \_\_\_\_\_

Allow an extension until \_\_\_\_\_

Request a reappraisal by Assessor  
(Scheduled for \_\_\_\_\_)

*Total \$ 136.02*

The reason for this action is due to:

Hardship  Error  Homeowners

Other comments:

Non deliverable mail - RV gone

Signed and approved this 27 day of March, 2026

Submitted by:

Commissioners

Assessor

Janna Beal

Treasurer

by Allison Portu

Chairman

Board Member

Board Member



**BINGHAM COUNTY TREASURER**

**TANNA BEAL**

501 N MAPLE #210  
 BLACKFOOT ID 83221  
 TELEPHONE: (208) 782-3092

**TAX MASTER INQUIRY**

PARCEL NUMBER  
**MH352S30TCD100**

TAX CODE AREA  
 015-000

LEGAL DESCRIPTION  
 T2S R35E SEC 30  
 TOWN & COUNTRY TR CT #D-10  
 RV TRAILER

PRIMARY PROPERTY ADDRESS  
 540 W HWY 26 SPC D-10  
 BLACKFOOT ID 83221

MECHAM MELISSA  
 540 W HWY 26 SPC D-10  
 BLACKFOOT ID 83221

<b>BALANCE DUE</b>	INTEREST DATE 03/27/2026
<b>\$ 136.02</b>	BALANCE AS OF 03/27/2026 11:54 am
TOTAL	

Tax Year Assessment Roll

Bill Number: 3062292

2025 PRIMARY	FIRST HALF	SECOND HALF	FULL YEAR
<b>TAX / CERTIFICATION</b>			
Charges	\$ 66.39	\$ 66.39	\$ 132.78
Adjustments	\$ 0	\$ 0	\$ 0
Payments	\$ 0	\$ 0	\$ 0
<b>LATE CHARGE</b>			
Charges/Adjustments	\$ 1.33	\$ 0	\$ 1.33
Payments	\$ 0	\$ 0	\$ 0
<b>FEES</b>			
Charges/Adjustments	\$ 0	\$ 0	\$ 0
Payments	\$ 0	\$ 0	\$ 0
<b>INTEREST</b>			
Charges/Adjustments	\$ 1.91	\$ 0	\$ 1.91
Payments	\$ 0	\$ 0	\$ 0
<b>AMOUNT DUE</b>	<b>\$ 69.63</b>	<b>\$ 66.39</b>	<b>\$ 136.02</b>

**VALUATION**

TAXABLE VALUE: \$ 16,100

**CHARGES**

Tax Code Area: 015-000 Levy: 0.005141433  
 Tax Charge: \$ 82.78  
 Certifications: \$ 50.00  
**TOTAL CHARGES: \$ 132.78**

The amount due shown here is as of 11:54 am on March 27, 2026, with interest calculated to March 27, 2026, and is subject to additional charges, fees and/or interest. Contact Treasurer's Office for updated amount due before sending payment.

TAX INQUIRY

The Board of Bingham County Commissioners hereby take the following action:

Tax # MH352S30TCA03A Year(s) 2025

on behalf of Barrera, Ramiro

Having:  Personally met this day  Telephoned

It was agreed to allow:

Tax cancellation of \$ 97.82 Interest excused of \$ 1.41

Penalty cancellation of \$ .98 Fees excused of \$ \_\_\_\_\_

Solid Waste fee cancellation of \$ \_\_\_\_\_

Adjust value from \$ \_\_\_\_\_ to \$ \_\_\_\_\_ Difference \$ \_\_\_\_\_

*Total \$100,21*

Allow an extension until \_\_\_\_\_

Request a reappraisal by Assessor  
(Scheduled for \_\_\_\_\_)

The reason for this action is due to:

Hardship  Error  Homeowners

Other comments:

Non deliverable mail - RV gone

Signed and approved this 27 day of March, 2026

Submitted by:

Commissioners

Assessor

Janna Beal

Chairman

Treasurer

by Allison Porter

Board Member

Board Member



**BINGHAM COUNTY TREASURER**

**TANNA BEAL**

501 N MAPLE #210  
 BLACKFOOT ID 83221  
 TELEPHONE: (208) 782-3092

**TAX MASTER INQUIRY**

PARCEL NUMBER  
**MH352S30TCA03A**

TAX CODE AREA  
 015-000

LEGAL DESCRIPTION  
 T2S R35E SEC 30  
 TOWN & COUNTRY TR CT #A-3  
 RV TRAILER

PRIMARY PROPERTY ADDRESS  
 540 W HWY 26 SPC A-3  
 BLACKFOOT ID 83221

BARRERA RAMIRO  
 540 W HWY 26 SPC A-3  
 BLACKFOOT ID 83221

<b>BALANCE DUE</b>	INTEREST DATE 03/27/2026
<b>\$ 100.21</b>	BALANCE AS OF 03/27/2026 11:53 am
<b>TOTAL</b>	

Tax Year Assessment Roll

Bill Number: 3062249

2025 PRIMARY	FIRST HALF	SECOND HALF	FULL YEAR
<b>TAX / CERTIFICATION</b>			
Charges	\$ 48.91	\$ 48.91	\$ 97.82
Adjustments	\$ 0	\$ 0	\$ 0
Payments	\$ 0	\$ 0	\$ 0
<b>LATE CHARGE</b>			
Charges/Adjustments	\$ 0.98	\$ 0	\$ 0.98
Payments	\$ 0	\$ 0	\$ 0
<b>FEE'S</b>			
Charges/Adjustments	\$ 0	\$ 0	\$ 0
Payments	\$ 0	\$ 0	\$ 0
<b>INTEREST</b>			
Charges/Adjustments	\$ 1.41	\$ 0	\$ 1.41
Payments	\$ 0	\$ 0	\$ 0
<b>AMOUNT DUE</b>	<b>\$ 51.30</b>	<b>\$ 48.91</b>	<b>\$ 100.21</b>

VALUATION	
TAXABLE VALUE:	\$ 9,300

CHARGES	
Tax Code Area: 015-000	Levy: 0.005141433
Tax Charge:	\$ 47.82
Certifications:	\$ 50.00
<b>TOTAL CHARGES:</b>	<b>\$ 97.82</b>

The amount due shown here is as of 11:53 am on March 27, 2026, with interest calculated to March 27, 2026, and is subject to additional charges, fees and/or interest. Contact Treasurer's Office for updated amount due before sending payment.

TAX INQUIRY

The Board of Bingham County Commissioners hereby take the following action:

Tax # MH352330TCD110 Year(s) 2025

on behalf of Mitchell, Jeremy  
Having:  Personally met this day  Telephoned

It was agreed to allow:

Tax cancellation of \$ 105.52 Interest excused of \$ 1.52

Penalty cancellation of \$ 1.06 Fees excused of \$ \_\_\_\_\_

Solid Waste fee cancellation of \$ \_\_\_\_\_

Adjust value from \$ \_\_\_\_\_ to \$ \_\_\_\_\_ Difference \$ \_\_\_\_\_

Allow an extension until \_\_\_\_\_

Request a reappraisal by Assessor  
(Scheduled for \_\_\_\_\_)

*Total \$108.10*

The reason for this action is due to:

Hardship  Error  Homeowners

Other comments:  
Non deliverable mail - RV gone

Signed and approved this 27 day of March, 2026

Submitted by:

Commissioners

Assessor

Janna Beal

Chairman

Treasurer

by Allison Porter

Board Member

Board Member



**BINGHAM COUNTY TREASURER**

**TANNA BEAL**

501 N MAPLE #210  
BLACKFOOT ID 83221  
TELEPHONE: (208) 782-3092

**TAX MASTER INQUIRY**

PARCEL NUMBER  
**MH352S30TCD110**

TAX CODE AREA  
015-000

LEGAL DESCRIPTION  
T2S R35E SEC 30  
TOWN & COUNTRY TR CT #D-11  
RV TRAILER

PRIMARY PROPERTY ADDRESS  
540 W HWY 26 SPC D-11  
BLACKFOOT ID 83221

MITCHELL JEREMY  
540 W HWY 26 SPC D-11  
BLACKFOOT ID 83221

<b>BALANCE DUE</b>	INTEREST DATE 03/27/2026
<b>\$ 108.10</b>	BALANCE AS OF 03/27/2026 11:52 am
TOTAL	

Tax Year Assessment Roll

Bill Number: 3062293

2025 PRIMARY	FIRST HALF	SECOND HALF	FULL YEAR
<b>TAX / CERTIFICATION</b>			
Charges	\$ 52.76	\$ 52.76	\$ 105.52
Adjustments	\$ 0	\$ 0	\$ 0
Payments	\$ 0	\$ 0	\$ 0
<b>LATE CHARGE</b>			
Charges/Adjustments	\$ 1.06	\$ 0	\$ 1.06
Payments	\$ 0	\$ 0	\$ 0
<b>FEES</b>			
Charges/Adjustments	\$ 0	\$ 0	\$ 0
Payments	\$ 0	\$ 0	\$ 0
<b>INTEREST</b>			
Charges/Adjustments	\$ 1.52	\$ 0	\$ 1.52
Payments	\$ 0	\$ 0	\$ 0
<b>AMOUNT DUE</b>	<b>\$ 55.34</b>	<b>\$ 52.76</b>	<b>\$ 108.10</b>

**VALUATION**

TAXABLE VALUE: \$ 10,800

**CHARGES**

Tax Code Area: 015-000 Levy: 0.005141433  
Tax Charge: \$ 55.52  
Certifications: \$ 50.00  
**TOTAL CHARGES: \$ 105.52**

The amount due shown here is as of 11:52 am on March 27, 2026, with interest calculated to March 27, 2026, and is subject to additional charges, fees and/or interest. Contact Treasurer's Office for updated amount due before sending payment.



Meeting Date: April 1, 2026  
Meeting Time: 8:15 am

## REQUEST FOR MEETING WITH BINGHAM COUNTY COMMISSIONERS FORM

The Board of County Commissioner's hold meetings various days throughout the week, which are coordinated with the Commission Clerk. Per Idaho Code §74-204(1), the Board cannot hold a meeting without less than 48 hours' notice and posting on the Commission Agenda. Any person(s) needing special accommodations should contact the Lindsey Gluch, Commission Clerk, at (208)785-3013.

Name: **Lindsey Gluch**

Email: **Lgluch@binghamid.gov**

Phone Number: **(208)782-3013**

Address: **501 North Maple, Blackfoot**

1. What is the topic of discussion that you wish the Board to have?

a. **Approval and signing of Autism Awareness Month Proclamation**

2. Approximately how much time will you need for this agenda item?

a. **5 minutes**

3. Will you be requesting that the Board make a decision?

**Yes.**

4. Have all supporting documents been included with this form? If not, please note that your meeting may not be scheduled until all necessary documentation has been provided to the Commission Clerk.

**Yes.**

5. Please provide the name and contact information of the individuals that you would like to be invited to the meeting. (Include name, telephone number and email address if known)

**N/A**

Please hand deliver or email this completed form, along with all supporting documents to Lindsey Gluch at [Lgluch@binghamid.gov](mailto:Lgluch@binghamid.gov), at least 24 hours prior to your scheduled meeting time.

# BINGHAM COUNTY COMMISSIONERS

Whitney Manwaring, Chairman

Eric Jackson

Drew Jensen



Lindsey Gluch, Commission Clerk  
501 N. Maple Room 204  
Blackfoot, ID 83221  
Phone (208) 782-3013  
Fax (208) 785-4131

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## AUTISM AWARENESS MONTH PROCLAMATION

**WHEREAS**, Autism Awareness Month is observed annually in April intended to increase understanding and acceptance of the Autism Spectrum Disorder; and

**WHEREAS**, Autism Spectrum Disorder refers to a broad range of conditions characterized by challenges with social skills, repetitive behaviors, speech, and nonverbal communication. It is accompanied by medical issues such as GI disorders, seizures, sleep disturbances, anxiety, and depression; research indicates that early diagnosis, intervention and access to support services leads to positive outcomes for those living with the disorder; and

**WHEREAS**, National Autism Awareness Month is backed by the Autism Society of America which has local chapters throughout the United States which hold special events throughout April and undertake a number of activities to raise awareness of autism; and

**WHEREAS**, Autism Awareness Month promotes acceptance and celebration of those on the spectrum who are out family members, friends, classmates, co-workers and community members and the valuable contributions and richness they bring to the world; and

**WHEREAS**, Autism Spectrum Disorder is natural variation of the human experience, and we can all create a world which values, includes, and celebrates all minds and abilities; and

**NOW, THEREFORE, WE, the undersigned, do hereby proclaim the month of April to be:**

### AUTISM AWARENESS MONTH

DATED this 1<sup>st</sup> day of April 2026.

ATTEST:

\_\_\_\_\_  
Whitney Manwaring, Chairman

\_\_\_\_\_  
Pamela W. Eckhardt  
Bingham County Clerk

\_\_\_\_\_  
Eric Jackson, Commissioner

\_\_\_\_\_  
Drew Jensen, Commissioner

“Potato Capital”



Meeting Date: April 1, 2026  
Meeting Time: 8:15 am

## REQUEST FOR MEETING WITH BINGHAM COUNTY COMMISSIONERS FORM

The Board of County Commissioner's hold meetings various days throughout the week, which are coordinated with the Commission Clerk. Per Idaho Code §74-204(1), the Board cannot hold a meeting without less than 48 hours' notice and posting on the Commission Agenda. Any person(s) needing special accommodations should contact the Lindsey Gluch, Commission Clerk, at (208)785-3013.

Name: **Lindsey Gluch** (On behalf of Matt Galloway- IT Department)

Email: **Lgluch@binghamid.gov**

Phone Number: **(208)782-3013** Address: **501 North Maple, Blackfoot**

1. What is the topic of discussion that you wish the Board to have?
  - a. **Approval of Bingham County Resolution 2026-25, a resolution for surplus property, specifically for the IT Department**
2. Approximately how much time will you need for this agenda item?
  - a. **5 minutes**
3. Will you be requesting that the Board make a decision?

**Yes.**
4. Have all supporting documents been included with this form? If not, please note that your meeting may not be scheduled until all necessary documentation has been provided to the Commission Clerk.

**Yes. The proposed Resolution is as attached.**
5. Please provide the name and contact information of the individuals that you would like to be invited to the meeting. (Include name, telephone number and email address if known)

**N/A**

Please hand deliver or email this completed form, along with all supporting documents to Lindsey Gluch at [Lgluch@binghamid.gov](mailto:Lgluch@binghamid.gov), at least 24 hours prior to your scheduled meeting time.

**BINGHAM COUNTY  
RESOLUTION NO. 2026-25**

A FORMAL RESOLUTION DECLARING CERTAIN BINGHAM COUNTY PROPERTY  
NOT NECESSARY FOR USE IN BINGHAM COUNTY, IDAHO

**WHEREAS**, The Bingham County Commissioners have the authority to manage county property, (Idaho Code §31-807);

**WHEREAS**, The Bingham County Commissioners have the authority to sell or offer for sale personal property exceeding two hundred fifty dollars (\$250) in value at private sale, (Idaho Code §31-808);

**THEREFORE BE IT HEREBY RESOLVED**, by the Board of County Commissioners, Bingham County, Idaho, that the following items may be sold as excess property:

**IT Department**

See attached "Exhibit A"

**DATED this 1<sup>st</sup> day of April, 2026.**

BINGHAM COUNTY COMMISSION

\_\_\_\_\_  
Whitney Manwaring, Chairman

ATTEST:

\_\_\_\_\_  
Eric Jackson, Commissioner

\_\_\_\_\_  
Pamela W. Eckhardt  
Bingham County Clerk

\_\_\_\_\_  
Drew Jensen, Commissioner

Quantity	Type	Description	Asset ID#
20	Desktop	Dell Optiplex	3223, 3273, 3416, 3409, 3341, 3382, 3387, 3187, 3320, 3270, 3408, 3219, 3236, 3413, 3229, 3414,3251,3342,3201,3211
3	Desktop	Dell Precision	T5810 (old dispatch computers)
3	Laptops	Dell Latitude	3092, 3119, 3230
1	Server	Dell T110 Tower	Old Aberdeen Server
87	HDD	3.5" & 2.5" HDD	Misc HDD
15	Monitors	Misc Monitors	Dell & Viewsonic
9	Switches	Netgear	Various - All EOL
3	Switches	Cisco 3750	EOL
5	Switches	Tplink	Various - All EOL
3	Storage	Synology NAS	DS1815+, DX513, DX517
3	Storage	Qnap NAS	TS659,
2	Router	Mikrotik Routers	CCR1016, CCR1036
15	Cameras	Misc Security Cameras	Acti, Axis, Sony, Ubi
4	WAP	Unifi & Mikrotik	EOL Wifi Access Points
3	Server	Axis Camera	S1032 MkII, S1048, Tower
2	Server	Acti Camera	Old Acti Servers
9	Phones	NEC	Broken NEC Phones
1	Printers	HP 4100	Broken - Pretrial
1	Printers	Brother MFC-L2700DW	Broken - Aberdeen



Quantity	Type	Description	Asset ID#
23	Desktop	Dell Optiplex	Various models
2	Desktop	Dell Precision	GIS, old dispatch
1	Printer	Brother Printer	Doesn't work - From SO
1	Printer	HP Laserjet Pro M452	Doesn't work - from HR
1	Fax	Canon G3	Doesn't work
8	Monitors	Misc Monitors	Dell & Planar
4	AP	Unifi	Various models from CTS and SFD
1	Camera	Axis Camera	Doesn't work - From jail
24	Laptops	Dell Latitude	Misc Dell laptops from prior decade, don't work
2	Switches	Cisco SG350X	Damaged in lightning strike on CTS
17	Tablets	Samsung	Old Elections tablets - pull from service in 2019

<b>Quantity</b>	<b>Type</b>	<b>Description</b>	<b>Asset ID#</b>
14	Laptop	Varous Dell & HP laptops	These are very old and have been maintenance replaced.
12	Desktop	Dell Deskstops	They are maintenance replacements
4	Printers	Lexmark & HP	Old printers are broken, not economic to fix
1	Projector	Projector	Old projector that no longer works.
4	Cameras	Various Axis Cameras	No Longer Work



Meeting Date: April 1, 2026  
Meeting Time: 8:45 am

## REQUEST FOR MEETING WITH BINGHAM COUNTY COMMISSIONERS FORM

The Board of County Commissioner's hold meetings various days throughout the week, which are coordinated with the Commission Clerk. Per Idaho Code §74-204(1), the Board cannot hold a meeting without less than 48 hours' notice and posting on the Commission Agenda. Any person(s) needing special accommodations should contact the Lindsey Gluch, Commission Clerk, at (208)785-3013.

Name: **Tiffany Olsen**

Email: [tolsen@binghamid.gov](mailto:tolsen@binghamid.gov)

Phone Number: **208-782-3177**

Address: **490 N. Maple, Suite A. Blackfoot**

1. What is the topic of discussion that you wish the Board to have?

**Meeting to sign the Copper Meadows II Development Agreement (action item)**

2. Approximately how much time will you need for this agenda item?

**5 minutes**

3. Will you be requesting that the Board make a decision?

**Yes**

4. Please cite what authority under either Idaho Code or Bingham County Code the meeting is being requested.

**Title 10 Chapter 14**

5. Have all supporting documents been included with this form? If not, please note that your meeting may not be scheduled until all necessary documentation has been provided to the Commission Clerk.

**Yes.**

6. Please provide the name and contact information of the individuals that you would like to be invited to the meeting. (Include name, telephone number and email address if known)

**Tiffany Olsen & KennaDee Lott & Addie Jo Jackman**

**Nate Clark, Curtis Johnson, Niel Humphreys, Caden Furihman**

**BINGHAM COUNTY DEVELOPMENT AGREEMENT**  
**Copper Meadows II Division 1**

THIS AGREEMENT, made and entered into this 13 day of March, 2026 by and between Bingham County, a political subdivision of the State of Idaho, Party of the First Part, hereinafter called the "County," and Rockwell Homes, Inc, an Idaho Corporation, with an address of 3539 Briar Creek Lane Suite E, Ammon, Idaho 83406, Party of the Second Part, hereinafter called the "Developer."

**WITNESSETH:**

WHEREAS, the Developer is the owner, in law and/or equity, of a certain tract of land in Bingham County, Idaho, more particularly described on Exhibit "A" attached hereto and made a part hereof; and

WHEREAS, the Developer has made a request to Bingham County to have the same accepted as a Subdivision and has submitted a plat of said property to be approved by the County Planning & Development Services Department, Planning and Zoning Commission, Public Works Department, and the Board of County Commissioners; and

WHEREAS, the County Planning and Zoning Commission has recommended to the Board of County Commissioners that such Subdivision be accepted subject to certain requirements and obligations on the part of the Developer; and

WHEREAS, the Board of County Commissioners has agreed to accept platting of said lands within the County subject to the following terms and conditions:

NOW THEREFORE, it is hereby agreed as follows:

I. That Developer, jointly or severally, heirs, representatives, itself, their successors and assigns, does hereby covenant, agree, and represent as follows:

A. Developer understands Bingham County has a no tolerance standard and will require Developer to fully abide by the terms of this Agreement, Preliminary Plat, Construction Plans, Final Plat, and all specifications, without further modification unless otherwise pre-approved by Planning and Development Services and Public Works.

B. The Developer shall pay in full, prior to recording the Final Plat any expenses of that which stem from the Final Subdivision Plat and this Development Agreement pursuant to Idaho Code Section 50-1310.

C. Developer has filed with the County Planning & Development Department a Development Cost Agreement, which represents an engineer's approved estimate of all outstanding construction (attached hereto and made a part hereof as Exhibit "B") and a complete set of Construction Plans (attached hereto and made a part hereof as Exhibit "C").

D. Improvements shown on the Construction Plans may include, but are not limited to, public roads, private roads, easements, sanitary sewers, storm drainage

systems/stormwater retention areas, pumping stations, water lines and appurtenances, water facilities, irrigation systems, fire hydrants, cisterns, and fire protection systems, curbs and gutters, sidewalks, landscaping, lighting, off-street parking, cross drains, streets, street surfacing, adjacent street improvements, street and regulatory signs, street lights, cluster mail box locations, single mail boxes, and all other needed street or utility improvements, as applicable.

Said Construction Plans may also show the proposed location of other utilities, i.e. telephone, gas, electricity, fiber, and irrigation facilities, and such others as may affect or be affected by the subdivision development on such property. Such plans and utility improvements shown thereon must meet the approval of the Public Works Department.

Developer shall construct and install all improvements in accordance with the applicable current edition of the Idaho Standards for Public Works Construction and the current edition of the Bingham County Code, Road Standards Manual, and International Fire Code, or as otherwise agreed between the Developer and the County if the standards and specifications are more restrictive and onerous at the time of construction than at the time of the execution of this document, including compliance with all other County codes and ordinances. Developer shall comply with all state, federal, EPA, DEQ, and other applicable statutes, rules and regulations.

E. The Developer is herein provided notice that pursuant to Idaho Code Section 50-1316 *“Any person who shall dispose of or offer for sale any lots in any city or county until the plat thereof has been duly acknowledged and recorded, as provided in Sections 50-1301-50-1325, shall forfeit and pay one hundred dollars (\$100) for each lot and part of a lot sold or disposed of or offered for sale.”*

F. Developer has chosen to construct and install, at its own expense, all improvements as shown on the approved Construction Plans and produce a Financial Guarantee which allows the Developer to record the Final Plat.

1. Financial Guarantee: The County shall require the Developer to provide a Financial Guarantee of performance, which Guarantee shall be in addition to the requirements of any other agency responsible for the administration, operation and maintenance of the applicable public improvements. Improvements shall include but not be limited to those items outlined in the Construction Plans, Preliminary Plat and/or Final Plat, and the Special Conditions below;

(a) Irrevocable Bank Letter of credit

(1) Treasurer, Escrow Agent or Trust Company: A cash deposit, certified check, negotiable bond or an irrevocable bank letter of credit, such surety acceptable by the Board of County Commissioners, shall be deposited with an escrow agent or trust company;

(2) Dollar Value: The dollar value of the cash deposit, certified check, negotiable bond or an irrevocable bank letter of credit shall be equal to one

hundred fifty percent (120%) of the estimated cost based on the Development Cost Agreement in item (4) below, for completing construction of the specific improvements, as recommended and approved by the County Public Works Department. The Engineers Development Cost estimate is \$1,680,425.00 therefore the bond amount shall be for \$2,016,510.00.

(3) Escrow Time: The escrow time for the irrevocable bank letter of credit shall be for a period 12 months with automatic renewal until such time as the subdivision improvements are completed and accepted by the County or applicable agency. The guarantee shall be held by the County until the warranty period has been exhausted and Public Works verifies the improvements.

(4) Development Cost Agreement: The Development Cost Agreement shall be provided by the Developers Professional Engineer and approved by the County Public Works Department. Said Agreement shall reflect estimates of actual costs at the time of the construction of the improvements needed to complete the subdivision.

G. Developer assumes full responsibility for all improvement construction activity related to said Development. Developer further assumes the responsibility to coordinate all construction activities herein with the County Public Works Department and provide bonded contractor(s) to perform all construction.

H. Developer shall provide a Professional Engineer and/or Land Surveyor, licensed in the State of Idaho, to furnish any construction staking, and to assume responsibility for the correctness of said construction for any public or private improvement, if applicable.

I. Developer shall require all contractors involved in constructing the subdivision improvements to furnish a minimum one (1) year warranty on all materials and workmanship involved. The warranty period for improvements shall begin on the date of written acceptance or Certificate of Completion given by the County or the applicable party. Irrigation improvements shall be warrantied for one (1) year or through one (1) full irrigation season from the date of the County's Certificate of Completion, whichever length of warranty time is greater. Additional warranty periods may be required in writing by the County on certain materials and products.

J. Developer shall comply with all County requirements in effect at the time construction is commenced on each lot. All Building and Zoning Codes must be complied with.

K. Developer shall provide the County Public Works Department with at least fifteen (15) days advance written notification of when and of what portions of said public street or public utility improvements within the public right-of-way Developer intends to complete at that time.

L. Developer shall notify the County Public Works Department immediately upon the completion of any such constructed phase or the entirety of said Development and request its final inspection and written acceptance of all public improvements.

M. Developer shall provide the County Public Works Department with notification of when private infrastructure improvements are completed for County on-site inspection. Prior to the Partial Satisfaction of this Agreement, written acceptance or approval of all private infrastructure improvements by the applicable agency or entity will be required.

N. Developer shall make a formal request in writing to the County Public Works Department for recommendation of approval of all said public improvements to the Board of County Commissioners. The request shall include certification from a Professional Engineer, licensed in the State of Idaho, certifying that said construction has been completed in compliance with the published standards. Along with the request, the Developer shall also submit two sets of prints (one paper and one digital copy) of the certified as-built drawings of the completed project (or phase), road compaction reports and asphalt analysis report for the Board's approval. The County will have thirty (30) days from the date the request was received to respond to the Developer. If no written action is received by the Developer from the Public Works Department within the thirty (30) days, the portion of the development submitted for approval shall be deemed accepted.

O. Developer agrees that within two (2) years after the official recording of this Agreement that the entirety of improvements shall be completed, in the interests of the health, welfare, and/or safety of the inhabitants of the County. Should the Developer fail to construct said improvements within the timeframe prescribed above, the County Public Works Department may provide written notification that the construction must be completed within 30 days, or a reasonable period not to exceed 12 months. Said notice shall indicate that failure to complete construction may result in the County completing the construction at the cost of the Developer. In the event the County is required to construct such improvement, or improvements, the County will recover the cost of such construction by filing a Claim against the Developer's Financial Guarantee, in such manner and under such terms as the County shall order after conference with the Developer.

P. In the event the County must complete any of the subdivision improvements and the Financial Guarantee is not sufficient to cover costs, this Development Agreement, upon execution and recording, shall constitute a Lien against all property in said Development other than those portions dedicated for public purposes. Upon the satisfactory completion of all warranty periods, the County will issue a final acceptance and lien release.

Q. That this Development Agreement shall be subject to the following special conditions:

Special Condition No. 1: The Developer complies with all notations on approved Plats (Preliminary and Final) and Construction Plans, including the specific requirements regarding irrigation water installation and system delivery. All Easements shall be shown on the approved documents providing authorization of irrigation water delivery to all affected water users within the Subdivision.

Special Condition No. 2: It is the Developer's responsibility to provide (1) a written statement from the company who installed the irrigation facilities affirming the irrigation lines/pipe, pump size and location, risers, and associated infrastructure as provided for on the Plat are installed within the designated irrigation easement(s) and are fully operational to serve the lots within the subdivision; or (2) if the Developer installed the irrigation improvements, the Developer shall provide written confirmation of the same.

To the extent otherwise inconsistent, special conditions shall take the precedent over all other terms.

II. The term "Developer" and the language of this agreement, whether it is more than one developer, shall be construed as plural, and if there are any parties that are feminine or are firms or corporations, the masculine shall include the feminine and the neuter. All terms and conditions of this agreement shall run with the land.

IN WITNESS WHEREOF, the County has affixed its seal and caused these presents to be executed by its Commissioners thereunto by resolution of its County Commissioners duly authorized, and the Developer has caused these presents to be executed the day and year first above written.

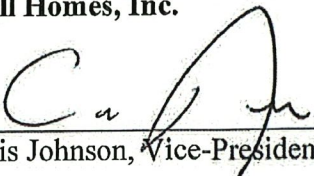
**BINGHAM COUNTY, IDAHO**

By: \_\_\_\_\_  
Whitney Manwaring, Chairman

**ATTEST:**

\_\_\_\_\_  
County Clerk

**DEVELOPER:**  
**Rockwell Homes, Inc.**

By:  \_\_\_\_\_  
Curtis Johnson, Vice-President

**ACKNOWLEDGEMENT OF BINGHAM COUNTY**

STATE OF IDAHO )  
 ) ss  
COUNTY OF BINGHAM )

On this \_\_\_ of March, 2026, before me, the undersigned, a Notary Public in and for said State, personally appeared Whitney Manwaring known to me or identified to me to be the Chairman of the Board of Commissioners, of the County of Bingham, State of Idaho, a political subdivision, having lawful authority to execute this instrument as the agent for Bingham County, and to be the person whose name is subscribed to the within instrument, and acknowledged to me that he executed the same on behalf of Bingham County. In witness whereof I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

(SEAL)

\_\_\_\_\_  
Notary Public for the State of Idaho  
Printed Name: \_\_\_\_\_  
Residing At: \_\_\_\_\_  
Commission expires: \_\_\_\_\_

**ACKNOWLEDGEMENT OF DEVELOPER**

STATE OF IDAHO )  
 ) ss  
COUNTY OF BINGHAM )

On this 13 of March, 2026, before me, the undersigned, a Notary Public in and for said State, personally appeared Curtis Johnson, known or identified to me, as the person whose name is subscribed to the within instrument as the Vice-President of Rockwell Homes, Inc., and Idaho Corporation registered with the Secretary of State, as the Developer of the Copper Meadows II Division 1 and acknowledged to me that he executed the same.

(SEAL)



Shanna Resendiz  
Notary Public for the State of Idaho  
Printed Name: Shanna Resendiz  
Residing At: Bonn  
Commission expires: 4-21-2031

**Exhibit "A"**  
**Boundary Description**  
**Copper Meadows II Division 1**

**BOUNDARY DESCRIPTION**

BEGINNING AT A POINT THAT IS N.00°05'05"E. ALONG THE SECTION LINE 280.15 FEET AND S.89°54'55"E. 33.00 FEET FROM THE WEST 1/4 CORNER OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 37 EAST OF THE BOISE MERIDIAN, SAID POINT BEING ON THE EAST RIGHT-OF-WAY LINE OF 800 EAST (NEW SWEDEN ROAD); RUNNING THENCE S.89°37'33"E. 7.01 FEET TO A POINT OF CURVE WITH A RADIUS OF 14.50 FEET AND A CHORD BEARING N.45°12'30"E. 20.55 FEET; THENCE TO THE RIGHT ALONG SAID CURVE 22.84 FEET THROUGH A CENTRAL ANGLE OF 90°14'37" TO THE SOUTH RIGHT-OF-WAY LINE OF REDBIRD STREET; THENCE S.89°40'05"E. ALONG SAID SOUTH RIGHT-OF-WAY LINE 309.87 FEET; THENCE S.00°04'22"W. 757.90 FEET; THENCE S.89°40'07"E. 7.95 FEET; THENCE S.00°09'39"W. 194.11 FEET; THENCE N.89°40'07"W. 7.60 FEET; THENCE S.00°14'10"W. 128.11 FEET; THENCE S.89°40'07"E. 355.00 FEET; THENCE S.00°14'10"W. 296.46 FEET TO A POINT OF CURVE WITH A RADIUS OF 20.00 FEET AND A CHORD BEARING S.45°17'02"W. 28.31 FEET; THENCE TO THE RIGHT ALONG SAID CURVE 31.45 FEET THROUGH A CENTRAL ANGLE OF 90°05'43"; THENCE N.89°40'07"W. 34.03 FEET TO A POINT OF CURVE WITH A RADIUS OF 86.00 FEET AND A CHORD BEARING S.63°23'08"W. 77.94 FEET; THENCE TO THE LEFT ALONG SAID CURVE 80.89 FEET THROUGH A CENTRAL ANGLE OF 53°53'30"; THENCE N.89°46'56"W. 139.59 FEET; THENCE N.00°13'04"E. 26.37 FEET; THENCE N89°46'54"W 235.09 FEET; THENCE S89°50'21"W 84.99 FEET; THENCE N00°04'25"E 43.00 FEET; THENCE S89°50'21"W 102.00 FEET TO SAID EAST RIGHT-OF-WAY LINE OF SAID 800 EAST (NEW SWEDEN ROAD); THENCE N.00°04'25"E. ALONG SAID EAST RIGHT-OF-WAY LINE 967.62 FEET; THENCE S.89°52'39"E. 150.50 FEET; THENCE N.00°06'14"E. 100.07 FEET; THENCE N.89°55'39"W. 150.55 FEET TO SAID EAST RIGHT-OF-WAY LINE OF SAID 800 EAST (NEW SWEDEN ROAD); THENCE N.00°05'05"E. ALONG SAID EAST RIGHT-OF-WAY LINE 282.80 FEET TO THE POINT OF BEGINNING. CONTAINING 13.012 ACRES

## Exhibit "B" Development Cost Agreement

### Public Improvement Cost Estimate

Development Project: **Copper Meadows II Division 1**

Est. Prepared by: **Eagle Rock Engineering - Niel Humphreys**

Date Prepared: **2/25/2026**

Plan Set **CS 2 - 25169 COPPER MEADOWS II DIVISION 1\_IP\_02-02-26**

Streets	Units	Unit Cost	Quantity	Total Cost
Local Residential Street	S.Y.	\$42.00	9625	\$404,250.00
Standard Curb and Gutter	L.F.	\$45.00	4085	\$183,825.00
4" Sidewalk (including ADA ramps on non-arterials)	S.Y.	\$52.00	2280	\$118,560.00
Stop Sign	Each	\$600.00	1	\$600.00
Stop Sign with Street Name Sign Assembly	Each	\$750.00	3	\$2,250.00
<b>Water System</b>	<b>Units</b>	<b>Unit Cost</b>	<b>Quantity</b>	<b>Total Cost</b>
Water Main	L.F.	\$47.00	2110	\$99,170.00
Residential Water Service (with meter pit)	Each	\$3,750.00	25	\$93,750.00
Water Valve (includes collar)	Each	\$1,320.00	8	\$10,560.00
Fire Hydrant (includes lateral pipe, tee, and valve)	Each	\$6,500.00	5	\$32,500.00
Flush Hydrant (includes lateral pipe, curb stop, and collar)	Each	\$2,800.00	0	\$0.00
<b>Sanitary Sewer</b>	<b>Units</b>	<b>Unit Cost</b>	<b>Quantity</b>	<b>Total Cost</b>
8" Sewer Main	L.F.	\$80.00	1600	\$128,000.00
12" Sewer Main	L.F.	\$100.00	360	\$36,000.00
Sewer Manhole (includes collar)	Each	\$8,800.00	8	\$70,400.00
4" Sewer Lateral	Each	\$1,700.00	25	\$42,500.00
<b>Storm Drainage</b>	<b>Units</b>	<b>Unit Cost</b>	<b>Quantity</b>	<b>Total Cost</b>
12" Storm Line	L.F.	\$90.00	455	\$40,950.00
15" Storm Line	L.F.	\$95.00	445	\$42,275.00
18" Storm Line	L.F.	\$110.00	580	\$63,800.00
24" Storm Line	L.F.	\$130.00	395	\$51,350.00
30" Storm Line	L.F.	\$145.00	435	\$63,075.00
Inlet Box	Each	\$3,500.00	10	\$35,000.00
Storm Manhole (includes collar)	Each	\$5,000.00	12	\$60,000.00
French Drain Manhole	Each	\$13,000.00	1	\$13,000.00
Detention Pond Excavation (requires project-specific estimate)	C.Y.	\$5.00	6147	\$30,735.00
<b>Other Project-specific Items</b>	<b>Units</b>	<b>Unit Cost</b>	<b>Quantity</b>	<b>Total Cost</b>
Street Lights	Each	\$4,550.00	5	\$22,750.00
Storm Outlet Box	Each	\$4,500.00	1	\$4,500.00
Paved Public Walking Path	S.Y.	\$25.00	1226	\$30,625.00
<b>TOTAL CONSTRUCTION</b>				<b>\$1,680,425.00</b>



**Exhibit "C"**  
**Construction Plans Sheets, dated March 3, 2026**  
**consisting of 17 pages**

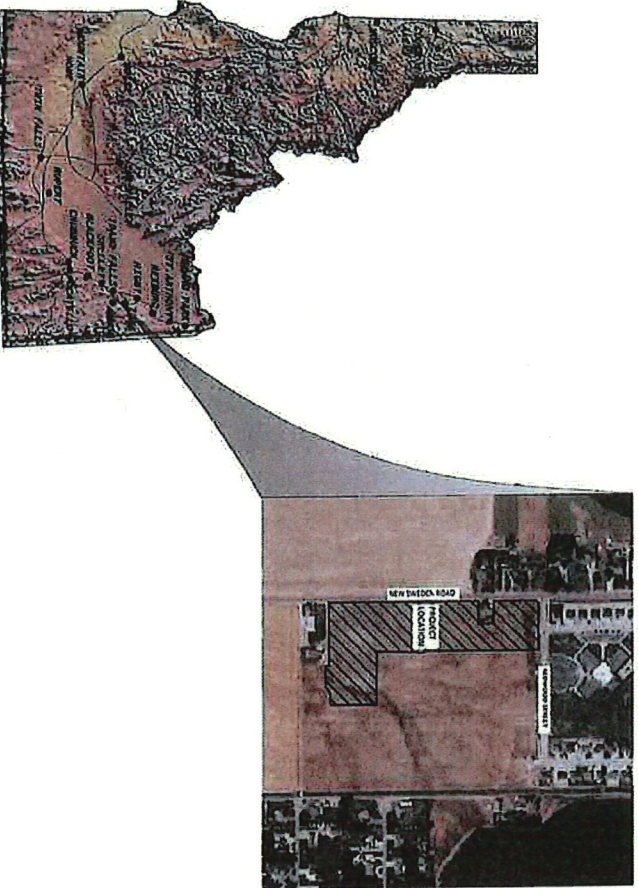
IMPROVEMENT DRAWINGS FOR:

# COPPER MEADOWS II DIVISION NO. 1

*Bingham County, Idaho*

PROJECT NO. 25169

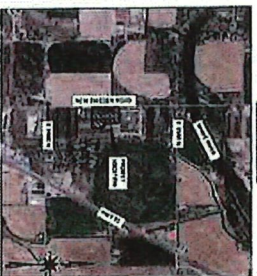
March 2026



Designed By:  
**EAGLE ROCK**  
**ENGINEERING**  
 CIVIL & PLANNING SURVEYING  
 1450 N. 1000 E. SUITE 200  
 TWIN FALLS, IDAHO 83420

**NOTES**

1. City Engineer to issue certificate and submitted to the City of Shelley and Bingham County Engineering Division for approval for construction.
2. All utility lines shown on this drawing are assumed to be in accordance with the Bingham County Engineering Division records and field surveys. It is the responsibility of the contractor to verify the location and depth of all utility lines.
3. Approval of the City Engineer is required for any proposed construction with the City of Shelley. The City Engineer will review the proposed construction with the City of Shelley Engineering Division and Bingham County Engineering Division. The City Engineer will issue a certificate of approval for the proposed construction.
4. The City Engineer is not responsible for the design of any proposed construction.
5. All proposed construction shall be in accordance with the standards of the City of Shelley Engineering Division and Bingham County Engineering Division.
6. The City Engineer is not responsible for the design of any proposed construction.
7. Approval of the City Engineer is required for any proposed construction.
8. All proposed construction shall be in accordance with the standards of the City of Shelley Engineering Division and Bingham County Engineering Division.
9. The City Engineer is not responsible for the design of any proposed construction.
10. Approval of the City Engineer is required for any proposed construction.
11. Approval of the City Engineer is required for any proposed construction.
12. Approval of the City Engineer is required for any proposed construction.
13. Approval of the City Engineer is required for any proposed construction.
14. Approval of the City Engineer is required for any proposed construction.
15. Approval of the City Engineer is required for any proposed construction.



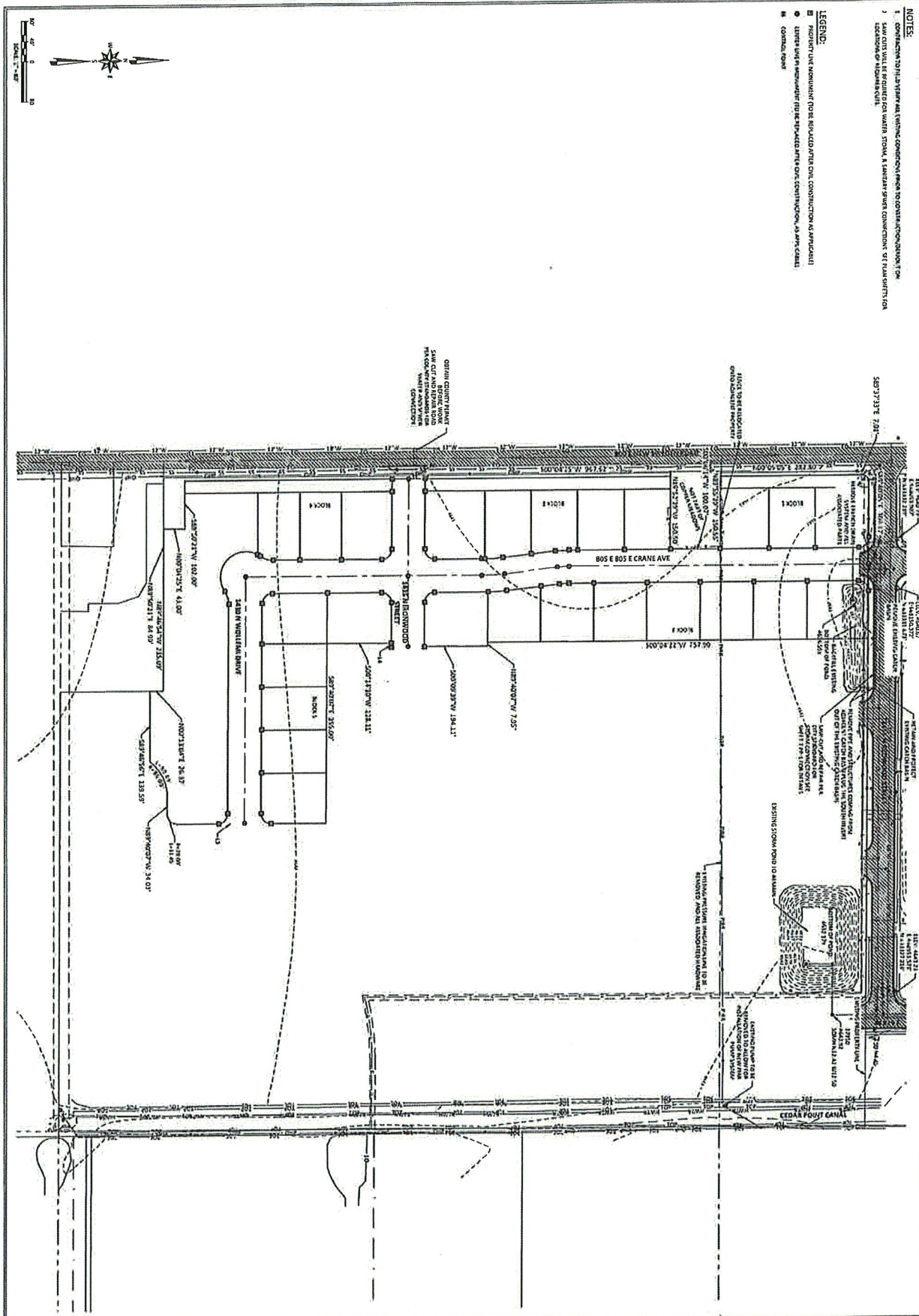
VICINITY MAP

	
BINGHAM COUNTY APPROVAL Approved: _____ Date: 11-17-2024 CITY OF SHELLEY APPROVAL Approved: _____ Date: 11-17-2024	PROPERTY LEGAL DESCRIPTION BINGHAM COUNTY, IDAHO PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 3 NORTH, RANGE 10 EAST, 3 N., BINGHAM COUNTY, IDAHO IMPROVEMENTS DRAWINGS CONTACT PERSON NAME: JEREMY HARRIS PHONE: (208) 325-2111 ADDRESS: 1450 N. 1000 E. SUITE 200 TWIN FALLS, IDAHO 83420
PROJECT NO.: 25169 SHEET NO.: 12 TOTAL SHEETS: 17 SCALE: N/A DATE: 3/22/25 DRAWN BY: JCH CHECKED BY: JCH PROJECT NO.: 25169 SHEET NO.: 12 TOTAL SHEETS: 17	PROJECT NO.: 25169 SHEET NO.: 12 TOTAL SHEETS: 17 SCALE: N/A DATE: 3/22/25 DRAWN BY: JCH CHECKED BY: JCH PROJECT NO.: 25169 SHEET NO.: 12 TOTAL SHEETS: 17



- NOTES:**
1. CONSTRUCTION TO BE SHOWN WITHIN CHANGING AREA TO BE CONSIDERED AS APPROXIMATE.
  2. EXISTING CONDITIONS TO BE SHOWN WITHIN CHANGING AREA TO BE CONSIDERED AS APPROXIMATE.
  3. SEE SHEET C-1 FOR CHANGING AREA TO BE CONSIDERED AS APPROXIMATE.

- LEGEND:**
- 1. PROPOSED LINE INDICATING THE LOCATION OF THE CONSTRUCTION AS APPROXIMATE.
  - 2. EXISTING LINE INDICATING THE LOCATION OF THE CONSTRUCTION AS APPROXIMATE.
  - 3. CONSTRUCTION TO BE SHOWN WITHIN CHANGING AREA TO BE CONSIDERED AS APPROXIMATE.

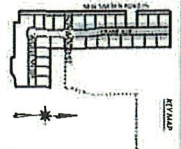


SHEET NO. <b>3</b>	COPPER MEADOWS II DIVISION No. 1 EXISTING CONDITIONS & DEMOLITION	<table border="1"> <thead> <tr> <th>DATE</th> <th>REVISIONS</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	DATE	REVISIONS	DESCRIPTION													<table border="1"> <tr> <td>DESIGNED BY</td> <td>M. HISE</td> </tr> <tr> <td>DRAWN BY</td> <td>P. REG</td> </tr> <tr> <td>CHECKED BY</td> <td>C. L. HANMAN</td> </tr> <tr> <td>PROJECT NO.</td> <td>2385</td> </tr> </table>	DESIGNED BY	M. HISE	DRAWN BY	P. REG	CHECKED BY	C. L. HANMAN	PROJECT NO.	2385		<p><b>EAGLE ROCK ENGINEERING</b> A DIV. OF HANSON CONSTRUCTION</p>
			DATE	REVISIONS	DESCRIPTION																							
DESIGNED BY	M. HISE																											
DRAWN BY	P. REG																											
CHECKED BY	C. L. HANMAN																											
PROJECT NO.	2385																											
SHEET NAME C-1	PREPARED FOR ROCKWELL HOMES, INC.	<p><b>ATTENTION:</b> This document is the property of Eagle Rock Engineering. It is to be used only for the project and site identified on the title block. It is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Eagle Rock Engineering.</p>																										

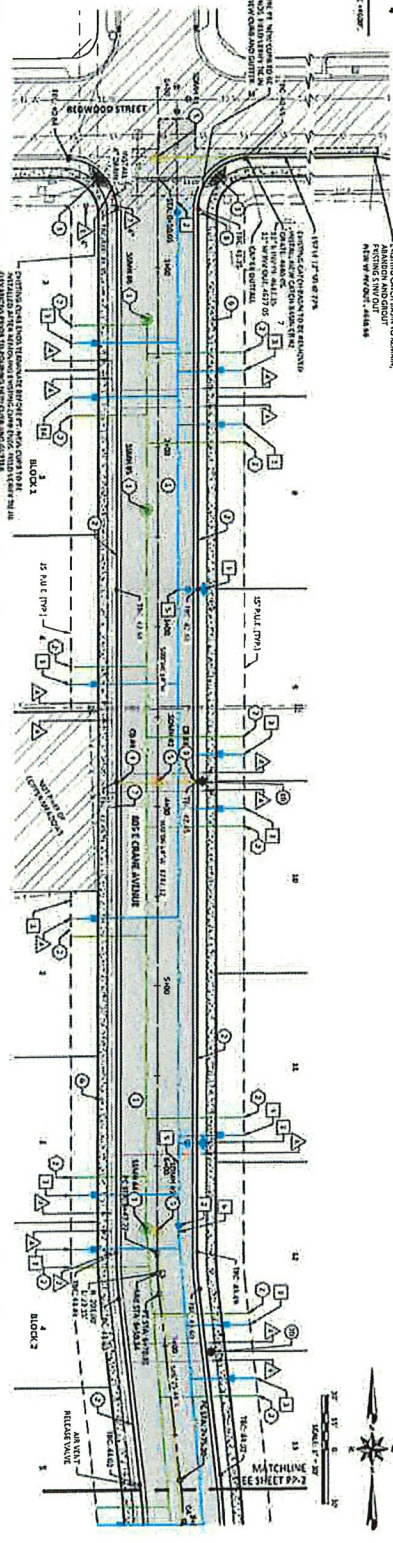




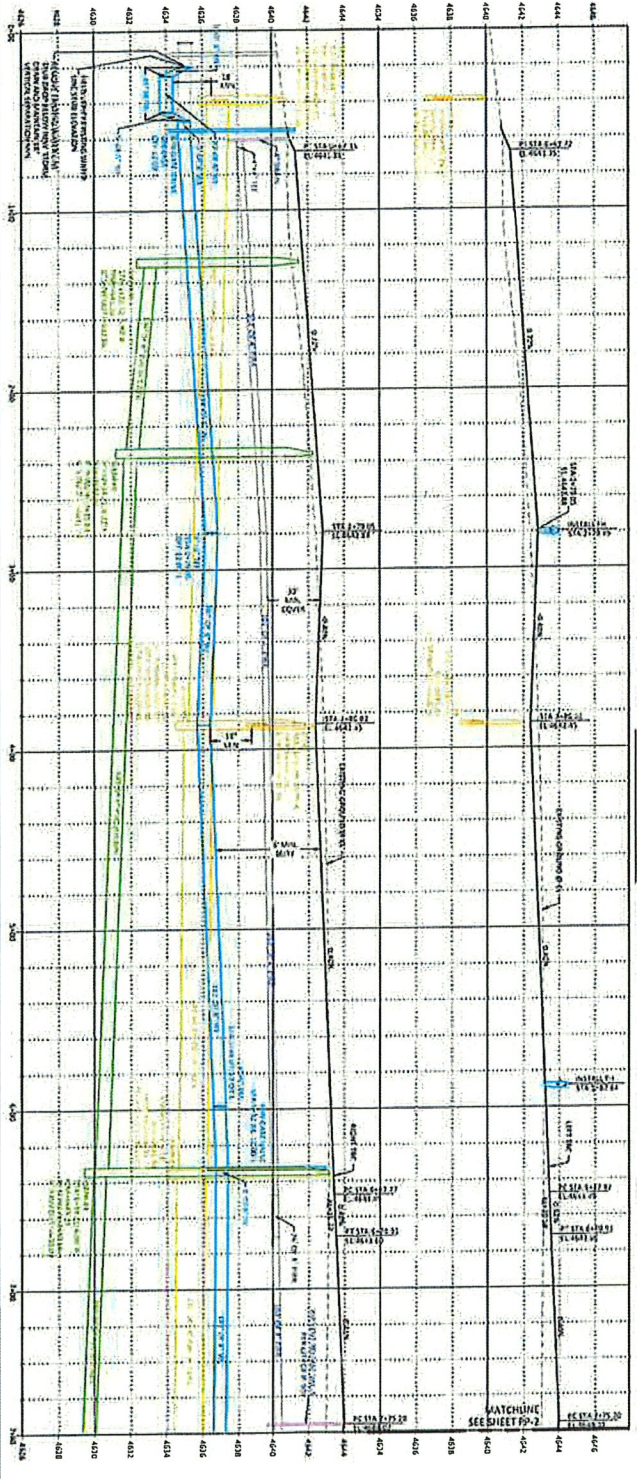




NOTES:  
 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER CONSTRUCTION STANDARDS AND SPECIFICATIONS.



CONSTRUCTION ITEMS	SEWER CONSTRUCTION ITEMS	WATER CONSTRUCTION ITEMS	PRESSURE APPLICATION CONSTRUCTION ITEMS
1. 12" DIA. 10' DEPTH MANHOLE	1. 12" DIA. 10' DEPTH MANHOLE	1. 12" DIA. 10' DEPTH MANHOLE	1. 12" DIA. 10' DEPTH MANHOLE
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4. 12" DIA. 10' DEPTH MANHOLE	4. 12" DIA. 10' DEPTH MANHOLE	4. 12" DIA. 10' DEPTH MANHOLE	4. 12" DIA. 10' DEPTH MANHOLE
5. 12" DIA. 10' DEPTH MANHOLE	5. 12" DIA. 10' DEPTH MANHOLE	5. 12" DIA. 10' DEPTH MANHOLE	5. 12" DIA. 10' DEPTH MANHOLE
6. 12" DIA. 10' DEPTH MANHOLE	6. 12" DIA. 10' DEPTH MANHOLE	6. 12" DIA. 10' DEPTH MANHOLE	6. 12" DIA. 10' DEPTH MANHOLE
7. 12" DIA. 10' DEPTH MANHOLE	7. 12" DIA. 10' DEPTH MANHOLE	7. 12" DIA. 10' DEPTH MANHOLE	7. 12" DIA. 10' DEPTH MANHOLE
8. 12" DIA. 10' DEPTH MANHOLE	8. 12" DIA. 10' DEPTH MANHOLE	8. 12" DIA. 10' DEPTH MANHOLE	8. 12" DIA. 10' DEPTH MANHOLE
9. 12" DIA. 10' DEPTH MANHOLE	9. 12" DIA. 10' DEPTH MANHOLE	9. 12" DIA. 10' DEPTH MANHOLE	9. 12" DIA. 10' DEPTH MANHOLE
10. 12" DIA. 10' DEPTH MANHOLE	10. 12" DIA. 10' DEPTH MANHOLE	10. 12" DIA. 10' DEPTH MANHOLE	10. 12" DIA. 10' DEPTH MANHOLE
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14. 12" DIA. 10' DEPTH MANHOLE	14. 12" DIA. 10' DEPTH MANHOLE	14. 12" DIA. 10' DEPTH MANHOLE	14. 12" DIA. 10' DEPTH MANHOLE
15. 12" DIA. 10' DEPTH MANHOLE	15. 12" DIA. 10' DEPTH MANHOLE	15. 12" DIA. 10' DEPTH MANHOLE	15. 12" DIA. 10' DEPTH MANHOLE
16. 12" DIA. 10' DEPTH MANHOLE	16. 12" DIA. 10' DEPTH MANHOLE	16. 12" DIA. 10' DEPTH MANHOLE	16. 12" DIA. 10' DEPTH MANHOLE
17. 12" DIA. 10' DEPTH MANHOLE	17. 12" DIA. 10' DEPTH MANHOLE	17. 12" DIA. 10' DEPTH MANHOLE	17. 12" DIA. 10' DEPTH MANHOLE
18. 12" DIA. 10' DEPTH MANHOLE	18. 12" DIA. 10' DEPTH MANHOLE	18. 12" DIA. 10' DEPTH MANHOLE	18. 12" DIA. 10' DEPTH MANHOLE
19. 12" DIA. 10' DEPTH MANHOLE	19. 12" DIA. 10' DEPTH MANHOLE	19. 12" DIA. 10' DEPTH MANHOLE	19. 12" DIA. 10' DEPTH MANHOLE
20. 12" DIA. 10' DEPTH MANHOLE	20. 12" DIA. 10' DEPTH MANHOLE	20. 12" DIA. 10' DEPTH MANHOLE	20. 12" DIA. 10' DEPTH MANHOLE

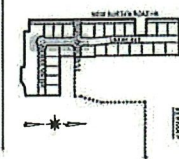


SHEET NO. 7  
 SHEET NAME PP-1  
 COPPER MEADOWS DIVISION No. 1  
 PLAN & PROFILE CRANE AVENUE STA 0+00 - 7+80  
 PREPARED FOR ROCKWELL HOMES, INC.

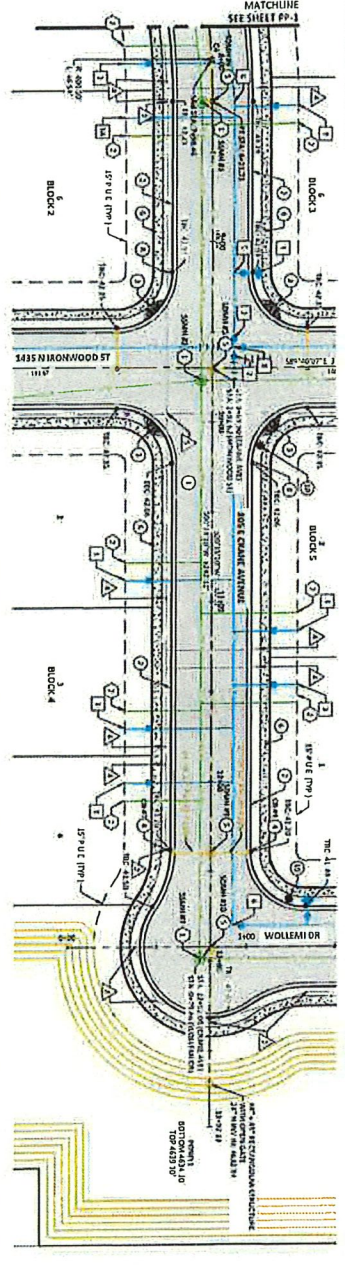
REVISIONS	DATE	DESCRIPTION

DESIGNED BY: A. BIRD  
 CHECKED BY: C. FURMAN  
 APPROVED BY: J. FISHER  
 PROJECT NO. 15155  
 ATTENTION: This document is the property of Eagle Rock Engineering, Inc. and is not to be distributed, copied, or used in any way without the written consent of Eagle Rock Engineering, Inc.

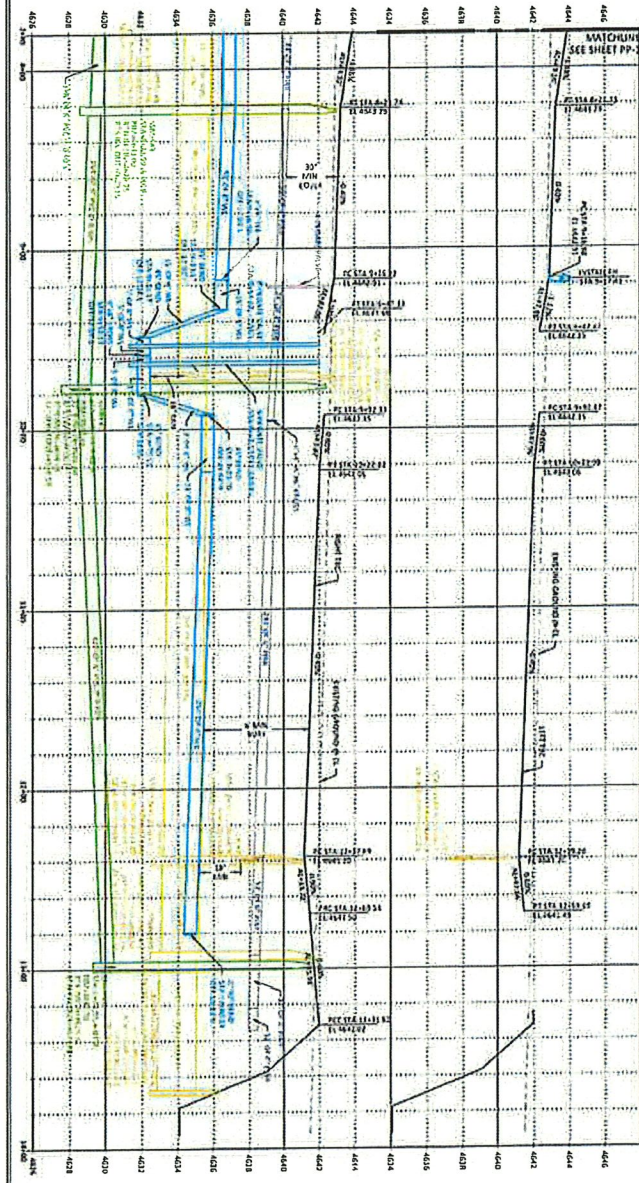




NOTES:  
1. MATCHLINE ON EAST END OF CRANE AVENUE.



805 E CRANE AVENUE



CONSTRUCTION ITEMS		PAVING AND DRAINAGE CONSTRUCTION ITEMS		SEWER CONSTRUCTION ITEMS		WATER CONSTRUCTION ITEMS		PASSENGER BRANCH ROAD CONSTRUCTION ITEMS	
1	Asphalt concrete pavement	1	Asphalt concrete pavement	1	Asphalt concrete sewer pipe	1	Asphalt concrete water pipe	1	Asphalt concrete pavement
2	Asphalt concrete curb	2	Asphalt concrete curb	2	Asphalt concrete sewer pipe	2	Asphalt concrete water pipe	2	Asphalt concrete curb
3	Asphalt concrete gutter	3	Asphalt concrete gutter	3	Asphalt concrete sewer pipe	3	Asphalt concrete water pipe	3	Asphalt concrete gutter
4	Asphalt concrete base	4	Asphalt concrete base	4	Asphalt concrete sewer pipe	4	Asphalt concrete water pipe	4	Asphalt concrete base
5	Asphalt concrete subgrade	5	Asphalt concrete subgrade	5	Asphalt concrete sewer pipe	5	Asphalt concrete water pipe	5	Asphalt concrete subgrade
6	Asphalt concrete	6	Asphalt concrete	6	Asphalt concrete sewer pipe	6	Asphalt concrete water pipe	6	Asphalt concrete
7	Asphalt concrete	7	Asphalt concrete	7	Asphalt concrete sewer pipe	7	Asphalt concrete water pipe	7	Asphalt concrete
8	Asphalt concrete	8	Asphalt concrete	8	Asphalt concrete sewer pipe	8	Asphalt concrete water pipe	8	Asphalt concrete
9	Asphalt concrete	9	Asphalt concrete	9	Asphalt concrete sewer pipe	9	Asphalt concrete water pipe	9	Asphalt concrete
10	Asphalt concrete	10	Asphalt concrete	10	Asphalt concrete sewer pipe	10	Asphalt concrete water pipe	10	Asphalt concrete
11	Asphalt concrete	11	Asphalt concrete	11	Asphalt concrete sewer pipe	11	Asphalt concrete water pipe	11	Asphalt concrete
12	Asphalt concrete	12	Asphalt concrete	12	Asphalt concrete sewer pipe	12	Asphalt concrete water pipe	12	Asphalt concrete
13	Asphalt concrete	13	Asphalt concrete	13	Asphalt concrete sewer pipe	13	Asphalt concrete water pipe	13	Asphalt concrete
14	Asphalt concrete	14	Asphalt concrete	14	Asphalt concrete sewer pipe	14	Asphalt concrete water pipe	14	Asphalt concrete
15	Asphalt concrete	15	Asphalt concrete	15	Asphalt concrete sewer pipe	15	Asphalt concrete water pipe	15	Asphalt concrete
16	Asphalt concrete	16	Asphalt concrete	16	Asphalt concrete sewer pipe	16	Asphalt concrete water pipe	16	Asphalt concrete
17	Asphalt concrete	17	Asphalt concrete	17	Asphalt concrete sewer pipe	17	Asphalt concrete water pipe	17	Asphalt concrete
18	Asphalt concrete	18	Asphalt concrete	18	Asphalt concrete sewer pipe	18	Asphalt concrete water pipe	18	Asphalt concrete
19	Asphalt concrete	19	Asphalt concrete	19	Asphalt concrete sewer pipe	19	Asphalt concrete water pipe	19	Asphalt concrete
20	Asphalt concrete	20	Asphalt concrete	20	Asphalt concrete sewer pipe	20	Asphalt concrete water pipe	20	Asphalt concrete

SHEET NO. 8  
COPPER MEADOWS DIVISION No. 1  
PLAN & PROFILE CRANE AVENUE STA 7+80 - END  
SHEET NAME PP-2  
PREPARED FOR ROCKWELL HOMES, INC.

#	REVISION	DATE

DESIGNED BY P. HESSE  
DRAWN BY F. BCO.  
CHECKED BY C. SHAMMAN  
APPROVED BY E. HESSE  
ATTENTION: This drawing is for the use of the contractor and is not to be used for any other purpose without the written consent of Eagle Rock Engineering, Inc.



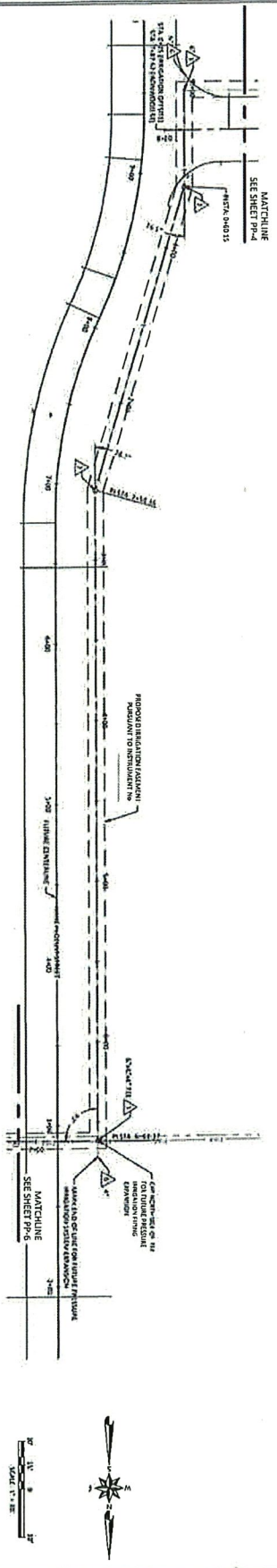




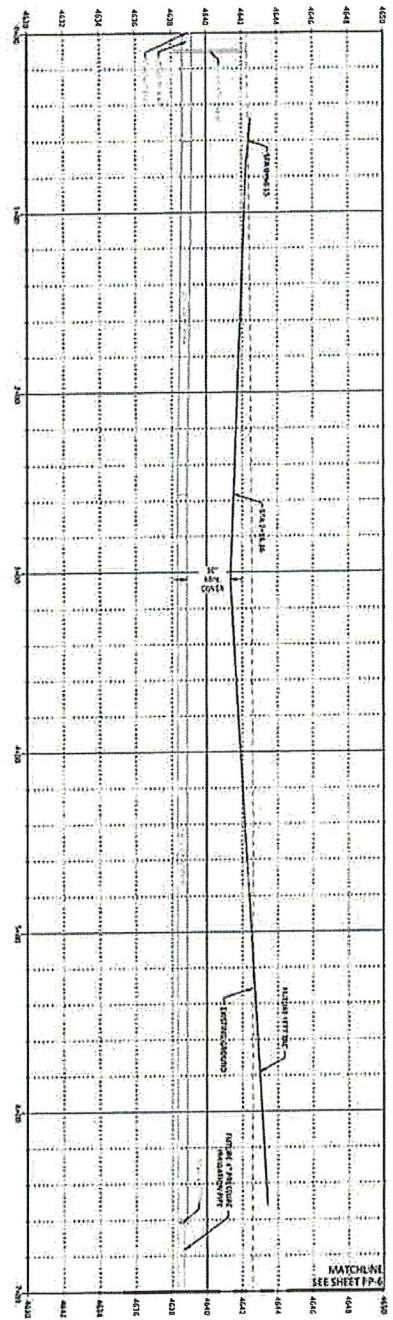


NOTES:  
1. ALL DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED.

CONSTRUCTION ITEMS		PAVING AND DRAINAGE CONSTRUCTION ITEMS		SEWER CONSTRUCTION ITEMS		WATER CONSTRUCTION ITEMS		PRESSURE IRRIGATION CONSTRUCTION ITEMS	
1	CONSTRUCTION OF MAINLINE AND LATERALS	1	ASPHALT DRIVEWAY	1	CONCRETE MAINLINE	1	CONCRETE MAINLINE	1	CONCRETE MAINLINE
2	CONSTRUCTION OF MAINLINE AND LATERALS	2	GRAVEL DRIVEWAY	2	CONCRETE MAINLINE	2	CONCRETE MAINLINE	2	CONCRETE MAINLINE
3	CONSTRUCTION OF MAINLINE AND LATERALS	3	GRAVEL DRIVEWAY	3	CONCRETE MAINLINE	3	CONCRETE MAINLINE	3	CONCRETE MAINLINE
4	CONSTRUCTION OF MAINLINE AND LATERALS	4	GRAVEL DRIVEWAY	4	CONCRETE MAINLINE	4	CONCRETE MAINLINE	4	CONCRETE MAINLINE
5	CONSTRUCTION OF MAINLINE AND LATERALS	5	GRAVEL DRIVEWAY	5	CONCRETE MAINLINE	5	CONCRETE MAINLINE	5	CONCRETE MAINLINE
6	CONSTRUCTION OF MAINLINE AND LATERALS	6	GRAVEL DRIVEWAY	6	CONCRETE MAINLINE	6	CONCRETE MAINLINE	6	CONCRETE MAINLINE
7	CONSTRUCTION OF MAINLINE AND LATERALS	7	GRAVEL DRIVEWAY	7	CONCRETE MAINLINE	7	CONCRETE MAINLINE	7	CONCRETE MAINLINE
8	CONSTRUCTION OF MAINLINE AND LATERALS	8	GRAVEL DRIVEWAY	8	CONCRETE MAINLINE	8	CONCRETE MAINLINE	8	CONCRETE MAINLINE
9	CONSTRUCTION OF MAINLINE AND LATERALS	9	GRAVEL DRIVEWAY	9	CONCRETE MAINLINE	9	CONCRETE MAINLINE	9	CONCRETE MAINLINE
10	CONSTRUCTION OF MAINLINE AND LATERALS	10	GRAVEL DRIVEWAY	10	CONCRETE MAINLINE	10	CONCRETE MAINLINE	10	CONCRETE MAINLINE



IRRIGATION OFFSITE



SHEET NO. 11  
COPPER MEADOWS DIVISION No. 1  
PLAN & PROFILE IRRIGATION OFFSITE STA 0+00 - 7+00  
SHEET NAME PP-5  
PREPARED FOR: ROCKWELL HOMES, INC.

NO.	REVISION	DATE

DESIGNED BY: P. HILL  
DRAWN BY: P. HILL  
CHECKED BY: C. SULLIVAN  
PROJECT NO. 11111

ATTENTION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

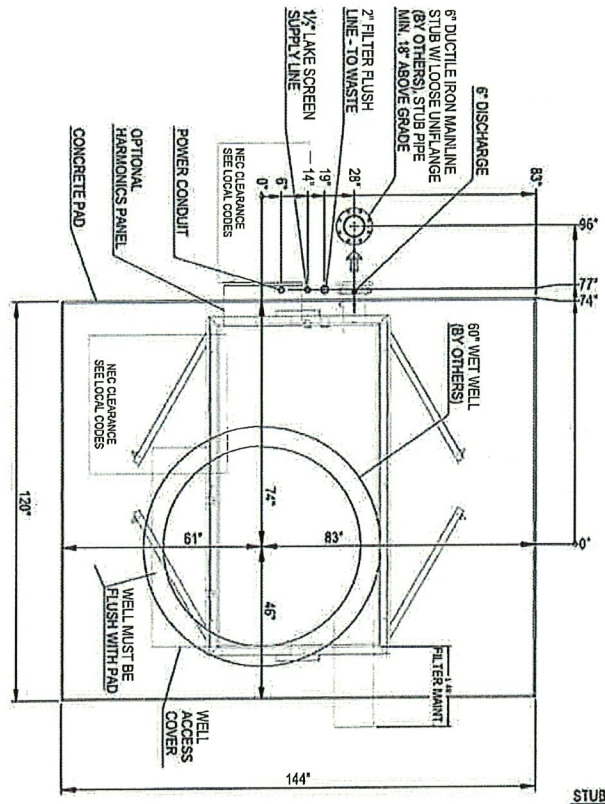
**EAGLE ROCK ENGINEERING**  
A DIVISION OF HANCOCK BUILDING



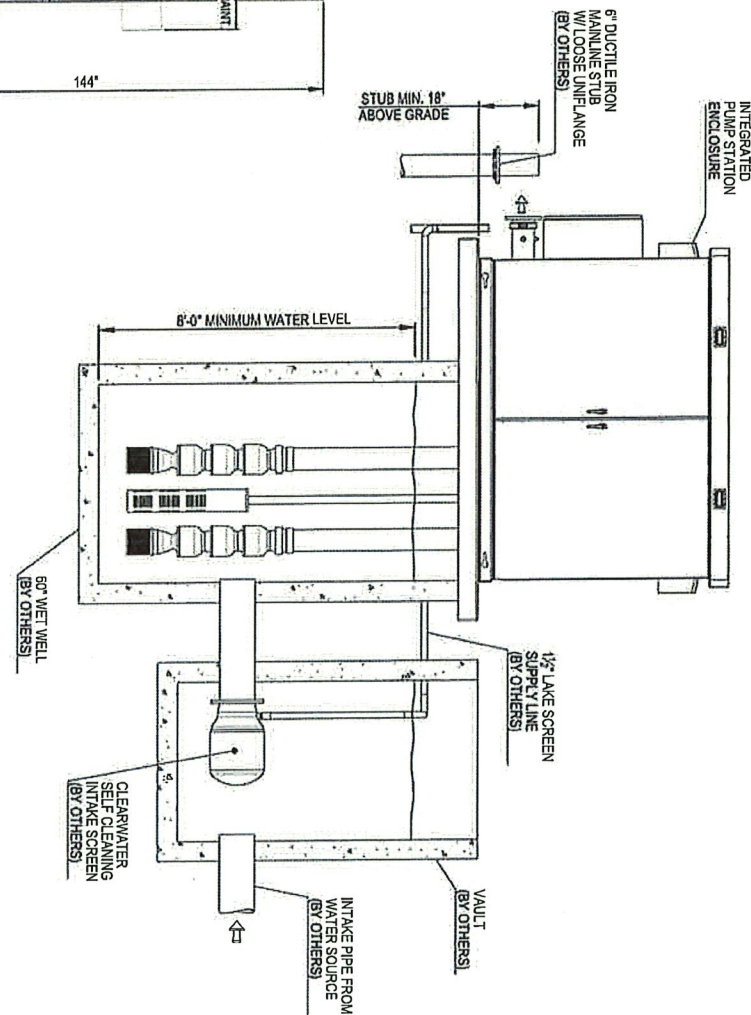








RECOMMENDED  
CONCRETE PAD LAYOUT - 80" WELL



RECOMMENDED VAULT LAYOUT



MATERIAL SKID:		TITLE:	
UNLESS OTHERWISE SPECIFIED:		SERIES: ORION 2-TURBINE W/FILTER LEFT DISCHARGE 200-580 GPM	
DRAWN: RED		PROJECT: COPPER MEADOWS IRR	
DATE: 10/20/2015		PART NO.: PRECISION PUMPING SYSTEMS (209) 323-5800	
JOB:		SCALE: NTS	
SIZE: B		SHEET: 2 OF 2	

SHEET NO. 16	COPPER MEADOWS II DIVISION No. 1 DETAILS
SHEET NAME D-3	PREPARED FOR ROCKWELL HOMES, INC.

DATE	DESCRIPTION

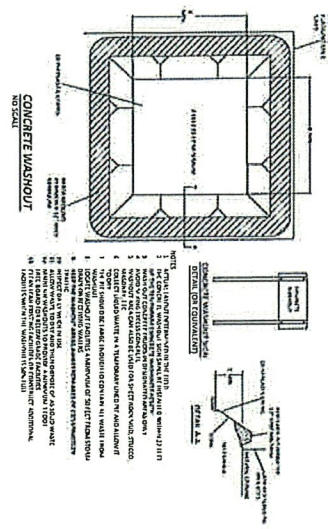


DESIGNED BY:	P. REED
DRAWN BY:	P. REED
CHECKED BY:	C. HARRIS
PROJECT NO.:	2118

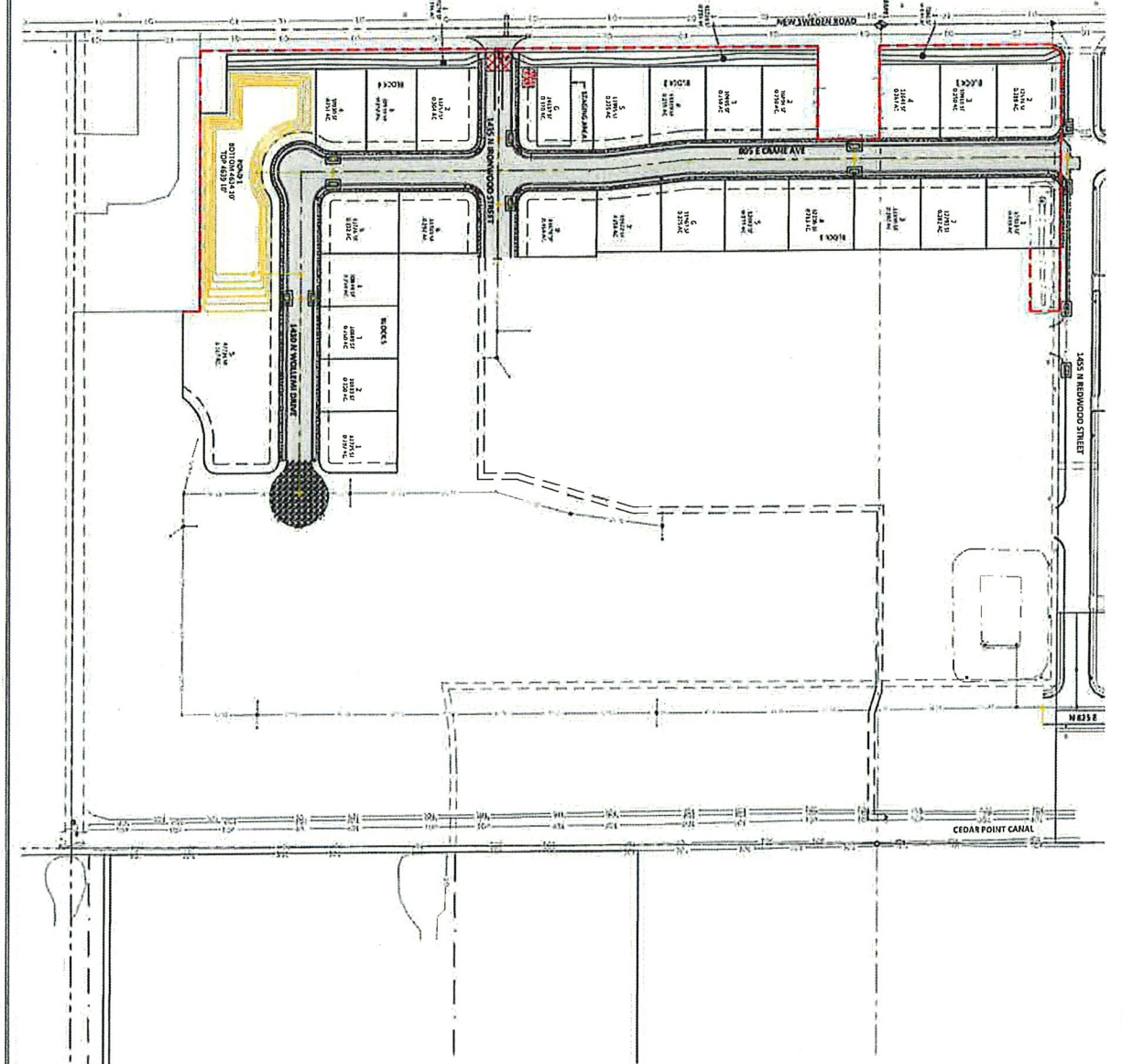
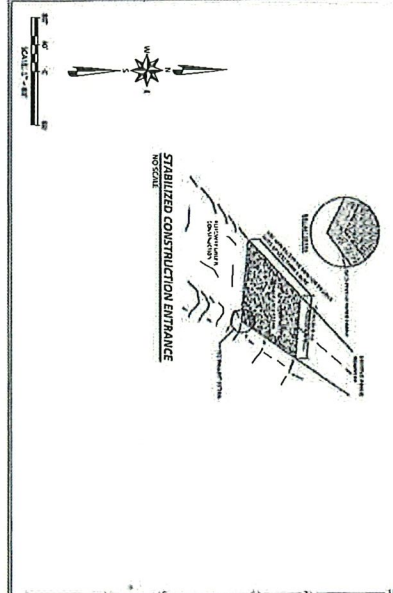


**EAGLE ROCK ENGINEERING**  
 CIVIL & PLANNING CONSULTANTS  
 1100 W. 14TH STREET, SUITE 100, DENVER, CO 80202  
 (303) 733-1100

- LEGEND:**
- REMAINING ALIQUOT PERMITS
  - CONCRETE WALL, GSI
  - STABILIZED CONSTRUCTION ENTRANCE, SDC, NO. 21
  - HATCH PAVEMENT



- SWPPP PLAN NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR THE OFFICIAL WINTER SWPPP AND CONSTRUCTION WITHIN THE SWPPP AREA.
  - CONTRACTOR SHALL MAINTAIN THE SWPPP AREA AT ALL TIMES AND SHALL BE RESPONSIBLE FOR THE SWPPP AREA AT ALL TIMES.
  - CONTRACTOR SHALL MAINTAIN THE SWPPP AREA AT ALL TIMES AND SHALL BE RESPONSIBLE FOR THE SWPPP AREA AT ALL TIMES.
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SHEET NO. <b>17</b>	COPPER MEADOWS II DIVISION No. 1 STORM WATER POLLUTION AND PREVENTION PLAN	<table border="1"> <thead> <tr> <th>DATE</th> <th>REVISIONS</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	DATE	REVISIONS							<table border="1"> <tr> <td>DESIGNED BY</td> <td>P. BEHN</td> </tr> <tr> <td>DRAWN BY</td> <td>P. BGD</td> </tr> <tr> <td>CHECKED BY</td> <td>C. LUDWIG</td> </tr> <tr> <td>PROJECT NO.</td> <td>1500</td> </tr> </table>	DESIGNED BY	P. BEHN	DRAWN BY	P. BGD	CHECKED BY	C. LUDWIG	PROJECT NO.	1500	<p><b>EAGLE ROCK ENGINEERING</b> LIVE. OR. THINKING. OR. SURVIVING.</p>
			DATE	REVISIONS																
DESIGNED BY	P. BEHN																			
DRAWN BY	P. BGD																			
CHECKED BY	C. LUDWIG																			
PROJECT NO.	1500																			
SHEET NAME SWPP	PREPARED FOR ROCKWELL HOMES, INC.	<p>ATTENTION:</p> <p>This drawing is a part of a contract. It is not to be used for any other project without the written consent of Eagle Rock Engineering.</p>																		

Meeting Date: April 1, 2026  
Meeting Time: 9:00 am



## REQUEST FOR MEETING WITH BINGHAM COUNTY COMMISSIONERS FORM

The Board of County Commissioner's hold meetings various days throughout the week, which are coordinated with the Commission Clerk. Per Idaho Code §74-204(1), the Board cannot hold a meeting without less than 48 hours' notice and posting on the Commission Agenda. Any person(s) needing special accommodations should contact the Lindsey Gluch, Commission Clerk, at (208)785-3013.

Name: **Dusty Whited** Email: **dwhited@binghamid.gov**  
Phone Number: **208-782-3864** Address:

1. What is the topic of discussion that you wish the Board to have?

**Signing of General Notice to Destroy Noxious Weeds**

2. Approximately how much time will you need for this agenda item?

**5 min**

3. Will you be requesting that the Board make a decision?

**Asking them to sign the notice so that it can be posted in the newspaper**

4. Please cite what authority under either Idaho Code or Bingham County Code the meeting is being requested.

**Idaho Code 22-2406**

5. Have all supporting documents been included with this form? If not, please note that your meeting may not be scheduled until all necessary documentation has been provided to the Commission Clerk.

**Yes, Document for signature is included**

6. Please provide the name and contact information of the individuals that you would like to be invited to the meeting. (Include name, telephone number and email address if known)

**N/A**

Please hand deliver or email this completed form, along with all supporting documents to Lindsey Gluch at [Lgluch@binghamid.gov](mailto:Lgluch@binghamid.gov), at least 24 hours prior to your scheduled meeting time.

# GENERAL NOTICE TO DESTROY WEEDS

**YOU ARE REQUIRED TO DESTROY NOXIOUS WEEDS ON YOUR PROPERTY:**

Notice is hereby given this the 1st day of April, 2026, pursuant to Idaho Code § 22-2406, to every person who owns or controls land in Bingham County, Idaho that any noxious weeds standing, being, or growing on such land shall be destroyed or eradicated by effective cutting, tillage, cropping, pasturing, or treating with chemicals or other effective methods or combination thereof, approved by the County Weed Superintendent, as often as may be required to prevent the weed from blooming and maturing seeds, or spreading by root, root stalks or other means.

Upon failure to observe this Notice the County Weed Superintendent is required to proceed, pursuant to the law, and have weeds destroyed by such method as he finds necessary, the expense of which shall constitute a lien and be entered as a tax against the land and be collected as other real estate taxes are collected or by other means as provided by law.

**BY ORDER OF THE BINGHAM COUNTY BOARD OF COUNTY COMMISSIONERS**

---

**Chairman, BOARD OF COUNTY COMMISSIONERS**

**THE FOLLOWING WEEDS ARE HEREBY OFFICIALLY DESIGNATED AND PUBLISHED AS NOXIOUS, AS PER THE AUTHORITY VESTED IN THE DIRECTOR OF AGRICULTURE, IDAHO CODE § 22-2403.**

## **STATEWIDE EARLY DETECTION RAPID RESPONSE LIST**

BRAZILIAN ELODEA (EGERIA Densa)  
COMMON/EUROPEAN FROGBIT (HYDRCHARIS MORSUS-RANAE)  
FANWORT (COBOMBA CAROLINIANA)  
FEATHERED MOSQUITO FERN (AZOLLA PINNATA)  
GIANT HOGWEED (HERACLEUM MANTEGAZZIANUM)  
GIANT SALVINIA (SALVINIA MOLESTA)  
GOATSRUE (GALEGA OFFICINALIS)  
HYDRILLA (HYDRILLA VERTICILLATA)  
IBERIAN STARHISTLE (CENTAUREA IBERICA)  
POLICEMAN'S HELMET (IMPATIENS GLANDULIFERA)  
PURPLE STARHISTLE (CENTAUREA CALCITRAPA)  
SQUARROSE Knapweed (CENTAUREA TRIUMFETTI)  
STARRY STONEWORT (NITELLOPSIS OBTUSA)  
SYRIAN BEANCAPER (ZYGOPHYLLUM FABAGO)\*  
TALL HAWKWEED (HIERACIUM PILOSELLOIDES)  
TURKISH THISTLE (CARDUUS CINEREUS)  
VARIABLE-LEAF-MILFOIL (MYRIOPHYLLUM HETEROPHYLLUM)  
WATER CHESTNUT (TRAPA NATANS)  
WATER HYACINTH (ECHHORINIA CRASSIPES)  
YELLOW DEVIL HAWKWEED (HIERACIUM GLOMERATUM)  
YELLOW FLOATING HEART (NYMPHOIDES PELATA)

## **STATEWIDE CONTROL LIST**

BLACK HENBANE (HYOSCYAMUS NIGER)\*  
BOHEMIAN KNOTWEED (POLYGONUM X BOHEMICUM)  
BUFFALOBUR (SOLANUM ROSTRATUM)\*  
COMMON CRUPINA (CRUPINA VULGARIS)  
COMMON REED (PHARGMITES) (PHAGMITIES AUSTRALIS)  
DYER'S WOAD (ISATIS TINCTORIA)\*  
EURASIAN WATERMILFOIL (MYRIOPHYLLUM SPICATUM)

FLOWERING RUSH (*BUTOMUS UMBELLATUS*)\*  
GIANT KNOTWEED (*POLYGONUM SACHALINENSE*)  
JAPANESE KNOTWEED (*POLYGONUM CUSPIDATUM*)  
JOHNSONGRASS (*SORGHUM HALEPENSE*)\*  
MATGRASS (*NARDUS STRICTA*)  
MEADOW Knapweed (*CENTAUREA DEBEAUXII*)  
MEDITERRANEAN SAGE (*SALVIA AETHIOPIS*)  
MUSK THISTLE (*CARDUUS NUTANS*)\*  
ORANGE HAWKWEED (*HIERACIUM AURANTIACUM*)\*  
PARROTFEATHER MILFOIL (*MYRIOPHYLLUM AQUATICUM*)  
PERENNIAL SOWTHISTLE (*SONCHUS ARVENSIS*)\*  
RUSSIAN Knapweed (*ACROPTILON REPENS*) L.\*  
SCOTCH BROOM (*CYTISUS SCOPARIUS*)  
SMALL BUGLOSS (*ANCHUSA ARVENSIS*)  
VIPERS BUGLOSS (*ECHIUM VULGARE*)  
YELLOW HAWKWEED (*HIERACIUM CAESPITOSUM*)

### **STATEWIDE CONTAINMENT LIST**

CANADA THISTLE (*CIRSIUM ARVENSE*)\*  
CURLYLEAF PONDWEED (*POTAMOGETON CRISPU*)\*  
DALMATIAN TOADFLAX (*LINARIA DALMATICA* SSP. *DALATICA*)\*  
DIFFUSE Knapweed (*CENTAUREA DIFFUSA*)\*  
FIELD BINDWEED (*CONVOLVULUS ARVENSIS*)\*  
HOARY ALYSSUM (*BERTEROA INCANA*)  
HOUNDSTONGUE (*CYNOGLOSSUM OFFICINALE*)\*  
JOINTED GOATGRASS (*AEGILOPS CYLINDRICA*)\*  
LEAFY SPURGE (*EUPHORBIA ESULA*)\*  
MILIUM (*MILIUM VERNALE*)\*  
OXEYE DAISY (*LEUCANTHEMUM VULGARE*)\*  
PERENNIAL PEPPERWEED (*LEPIDIUM LATIFOLIUM*)\*  
PLUMELESS THISTLE (*CARDUUS ACANTHOIDES*)\*  
POISON HEMLOCK (*CONIUM MACULATUM*)\*  
PUNCTUREVINE (*TRIBULUS TERRESTRIS*)\*  
PURPLE LOOSESTRIFE (*LYTHRUM SALICARIA*)\*  
RUSH SKELETONWEED (*CHONDRILLA JUNCEA*)\*  
SALT CEDAR (*TAMARIX*)\*  
SCOTCH THISTLE (*ONOPORDUM ACANTHIUM*)\*  
SPOTTED Knapweed (*CENTAUREA STOEBE*)\*  
TANSY RAGWORT (*SENECIO JACOBAEA*)\*  
WHITE BRYONY (*BRYONIA ALBA*)\*  
WHITETOP (*CARDARIA DRABA*)\*  
YELLOW FLAG IRIS (*IRIS PSUDOCORUS*)\*  
YELLOW STAR THISTLE (*CENTAUREA SOLSTITIALIS*)\*  
YELLOW TOADFLAX (*LINARIA VULGARIS*)\*

### **PROHIBITED GENERA**

CYTISUS, GENISTA, SPARTIUM, AND CHAMEACYTISUS

### **TEMPORARY LISTING**

COGON GRASS (*IMPERATA CYLINDRICA*)

(\*) KNOWN TO BE IN BINGHAM COUNTY

Meeting Date: April 1, 2026  
Meeting Time: 9:00 am

**Lindsey Gluch**

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**From:** no-reply@services.evo.cloud  
**Sent:** Friday, March 20, 2026 1:49 PM  
**To:** Lindsey Gluch  
**Subject:** Request for Meeting with Bingham County Commissioners

EXTERNAL EMAIL - This email was sent by a person from outside your organization. Exercise caution when clicking links, opening attachments or taking further action, before validating its authenticity.

**A new submission has been received for Request for Meeting with Bingham County Commissioners at 03/20/2026 1:48 PM**

**First Name:** Caden  
**Last Name:** Fuhrima  
**Phone:** 2087094295  
**Address:** 1331 Fremont Ave  
**City:** Idaho Falls  
**State/Province:** ID  
**Email Address:** cfuhriman@eaglerockengineering.com  
**What is the topic of discussion that you wish the Board to have?:** To discuss North River Estates Subdivision road acceptance options with an extended warranty.  
**Approximately how much time will you need for this agenda item?:** 0.5-1 hr  
**Will you be requesting that the Board make a decision?:** Yes  
**Have all supporting documents been included with this form? If not, please note that your meeting may not be scheduled until all necessary documentation has been provided to the Commission Clerk. :** Yes  
**Please provide the name and contact information of the individuals that you would like to be invited to the meeting. (Include name, telephone number and email address if known) :** Dusty Whited





## Eagle Rock Engineering

1331 Fremont Ave  
Idaho Falls, ID 83402  
208-542-2665

Bingham County  
County Commissioners  
501 N. Maple St.  
Blackfoot, ID 83221  
(208) 782-3160

March 17, 2026

### North River Estates Extended Warranty Proposal Summary

Dear Commissioners,

#### Overview

Eagle Rock Engineering presented a proposed method to cut and remove sections of the newly placed asphalt along the sewer trench alignment to perform compaction testing of the underlying backfill. The intent of this testing is to confirm that trench compaction meets acceptable standards and to mitigate the risk of future pavement failure.

It was discussed that, contingent upon satisfactory compaction test results, Bingham County may consider accepting the roadway with an added condition requiring an extended warranty period. This warranty would serve as a risk management measure to address any potential long-term settlement or pavement distress associated with trench backfill.

Rockwell Homes and Eagle Rock Engineering expressed concern regarding the impact of cutting into newly constructed pavement and requested the opportunity to evaluate an alternative approach. Specifically, they would like to explore the feasibility of providing an extended warranty without requiring destructive testing of the asphalt.

No final decision was made during the meeting. The matter was formally tabled to allow Rockwell Homes and Eagle Rock Engineering time to further evaluate the extended warranty option as a potential alternative to pavement removal and compaction testing.

## **References**

### **Discussion 1 – Bonneville County (Lance Bates, Public Works Director)**

Eagle Rock Engineering consulted with Lance Bates, Public Works Director for Bonneville County, regarding the County's experience with pavement performance over utility trenches.

Mr. Bates indicated that Bonneville County has observed pavement settlement related to trench backfill compaction occurring over a wide range of timeframes. In some cases, settlement has occurred as early as 1 to 2 years following construction, while in other instances, failures have developed as late as 5 to 6 years after project completion.

### **Discussion 2 – City of Idaho Falls (Niel Cunningham, City Inspector)**

Eagle Rock Engineering consulted with Niel Cunningham, City Inspector for the City of Idaho Falls, regarding observed pavement performance over sewer trench alignments.

Mr. Cunningham indicated that the City has experienced pavement settlement attributable to trench backfill compaction on multiple projects. Based on his experience, these failures can occur over a broad timeframe, with settlement observed as early as 1 year after construction and in some cases as late as 5 years post-construction.

### **Discussion 3 – City of Shelley (Justin Johnson, Public Works Director)**

Eagle Rock Engineering consulted with Justin Johnson, Public Works Director for the City of Shelley, regarding long-term pavement performance over sewer trench backfill.

Mr. Johnson indicated that he has observed roadway settlement and failure related to trench compaction occurring up to 5 years after construction completion.

#### **Discussion 4 – Knife River Contractors (James Hammer)**

Eagle Rock Engineering consulted with James Hammer of Knife River Contractors regarding contractor experience with pavement performance over utility trench backfill.

Mr. Hammer indicated that Knife River has encountered instances where pavement settlement related to trench compaction required corrective work several years after construction. Specifically, he noted that they have returned to projects to repair pavement failures occurring approximately 4 years after completion.

#### **Discussion 5 – Avail Valley (Jedd Stoddard)**

Eagle Rock Engineering consulted with Jedd Stoddard of Avail Valley regarding observed pavement performance over utility trench backfill.

Mr. Stoddard indicated that he has observed pavement failures attributable to trench backfill compaction occurring up to 3 years after project completion. He further noted that these issues were observed on roadways constructed without curb and gutter, which may contribute to increased susceptibility to settlement due to reduced lateral confinement and edge support.

#### **Discussion 6 – HK Contractors (Jairo Elizondo)**

Eagle Rock Engineering consulted with Jairo Elizondo of HK Contractors regarding contractor observations of pavement performance over utility trench backfill.

Mr. Elizondo indicated that pavement failures related to trench backfill compaction can occur across a wide range of timeframes. Based on his experience, failures have been observed as early as 6 months after construction and as late as approximately 3 to 4 years following project completion.

### **Request**

Based on the collective input from regional public agencies and contractors, Rockwell Homes and Eagle Rock Engineering recommend that the roadway remain intact without performing destructive compaction testing of the newly placed asphalt.

The documented experiences indicate that pavement failures related to trench backfill compaction have occurred as early as 6 months and as late as 5 to 6 years following construction, depending on site conditions, construction practices, and roadway section design. Multiple agencies and contractors consistently identified that the majority of compaction-related settlement occurs within this general timeframe.

In consideration of these findings, Rockwell Homes proposes a 7-year extended pavement warranty as a risk mitigation measure. This duration exceeds all referenced timeframes of observed failures and provides the County with a high level of protection against latent compaction-related issues, while avoiding the unnecessary impact associated with removing newly constructed pavement.

Along with the extended 7-year warranty, Rockwell Homes proposes a Financial Guaranty in the form of a Letter of Credit. The Letter of Credit is a cash guarantee held by Glacier/Citizens Community Bank and represents the most secure way to ensure road repairs are covered if damage occurs. Unlike a bond, an LC is liquid, providing the County with immediate access to funds upon presentation of proper documentation at the local bank. See attached Letter of Credit example. Rockwell Homes is proposing a Financial Guaranty, specifically a Letter of Credit (LC), along with an extended 7-year warranty.

The LC is a cash guarantee, held by Glacier/Citizens Community Bank, offering the County the most secure method for covering potential road repair costs. Unlike a traditional bond, an LC is a liquid asset that ensures the County can immediately access the necessary funds simply by presenting the proper documentation to the local bank. An example of the Letter of Credit is attached.

Warm Regards,

**Caden Fuhriman, PE**

Draft

## IRREVOCABLE STANDBY LETTER OF CREDIT

Place and Date of Issue: TBD  
Citizens Community Bank  
A Division of Glacier Bank  
2797 S. 25<sup>th</sup> E.  
Ammon, ID 83406

Letter of Credit: *TBD*  
Maturity Date: *TBD*  
  
Amount: *TBD*

Beneficiary: Bingham County  
501 N. Maple St.  
Blackfoot, ID 83221

Applicant: Rockwell Homes LLC  
3539 Briar Creek Lane, Suite E  
Idaho Falls, ID 83406

Project: North River Subdivision

Sir or Madam:

We hereby issue in your favor this irrevocable standby Letter of Credit which authorizes you to draw on Citizens Community Bank a Division of Glacier Bank, for the account of Rockwell Homes LLC, located at 3539 Briar Creek Lane, Suite E, Idaho Falls, ID 83406, in an amount not exceeding, in lawful money of the United States of America, *TBD Amount (TBD Amount)* available for your draft(s) at sight accompanied by the following documents:

- 1) The Beneficiary's Drawing Certificate in the form attached here as **Exhibit A** and bearing the signature of the Beneficiary; and,
- 2) Signed certification setting forth amount of default.
- 3) The original of this Irrevocable Letter of Credit

This letter is governed by the Uniform Customs and Practice for Documentary Credits (2007 Revision) ("UCP"), International Chamber of Commerce Publication No. 600, and any subsequent revisions thereof approved by the International Chamber of Commerce, unless the law of the State of issuance prohibits application of the UCP to this letter. This letter is also governed by Article Five of the Uniform Commercial Code of the State where this letter is issued, Idaho. If the provisions of the UCP conflict with the law of the State of issuance, the provisions of the UCP shall control unless application of the UCP prohibited by the governing law of the State.

Except as stated herein, this undertaking is not subject to any conditions or qualifications whatsoever. Should you have any occasion to communicate with us regarding this credit, kindly direct your communications to me.

Additional Conditions:

- Partial drawings are permitted. In the event of a partial drawing, the original Letter of Credit must be returned for endorsement of the amount paid. Each partial drawing shall *pro tanto* reduce the amount available under this credit drawings honored by this Bank and shall not, in the aggregate, exceed the Amount of this credit stated above.

This Letter of Credit sets forth in full our undertaking and such undertaking shall not in any way be modified, amended, amplified or limited by any other representation or agreement not stated or expressly incorporated herein.

Very truly yours,  
Citizens Community Bank

By: \_\_\_\_\_  
Kendall Buttars, VP Regional Lending Manager

Approved:

\_\_\_\_\_  
[Applicant]

**EXHIBIT A**

Certificate for Drawing on Letter of Credit No. *TBD*

The undersigned, Beneficiary hereby certifies to Issuer Citizens Community Bank, with reference to Irrevocable Letter of Credit No. *TBD*, (the "Letter of Credit") issued by the Bank in favor of the Beneficiary at the request of Rockwell Homes LLC. The Beneficiary is the Beneficiary under the Letter of Credit and certifies to Citizens Community Bank that:

- (1) The Customer is in default in its obligation to the Beneficiary for failure to complete improvements to Copper Meadows II Division 1 and the amounts represented by the accompanying draft is due and owing or is required in order for completion of the improvements.
- (2) The Beneficiary directs Citizens Community Bank to make payment of the sight draft accompanying this certificate.

IN WITNESS WHEREOF, the Beneficiary has executed and delivered this Certificate as of the \_\_\_\_ day of \_\_\_\_\_ 20\_\_.

[Beneficiary]

By: \_\_\_\_\_  
Title:

## Public Improvement Cost Estimate

Development Project: **North River Estates - ROAD**

Est. Prepared by: **Eagle Rock Engineering**

Date Prepared: **3/11/2026**

Streets	Units	Unit Cost	Quantity	Total Cost
Local Residential Street - Price Per Forsgren Estimate in Copper Meadows II	S.Y.	\$42.00	12075	\$507,150.00
Street Name Sign Assembly (sign 2 streets on one post)	Each	\$0.00	4	\$0.00
Speed Limit Sign	Each	\$0.00	0	\$0.00
Stop Sign	Each	\$550.00	0	\$0.00
Stop Sign with Street Name Sign Assembly	Each	\$720.00	0	\$0.00
Temporary Gravel Turn Around	S.Y.	\$0.00	0	\$0.00

Water System	Units	Unit Cost	Quantity	Total Cost
8" Water Main	L.F.	\$0.00	0	\$0.00
12" Water Main	L.F.	\$0.00	0	\$0.00
Residential Water Service	Each	\$0.00	0	\$0.00
Commercial Water Service	Each	\$0.00	0	\$0.00
8" Water Valve	Each	\$0.00	0	\$0.00
12" Water Valve	Each	\$0.00	0	\$0.00
Fire Cistern	Each	\$5,000.00	0	\$0.00
Flush Hydrant (includes lateral pipe, curb stop, and collar)	Each	\$0.00	0	\$0.00

Sanitary Sewer	Units	Unit Cost	Quantity	Total Cost
8" Sewer Main	L.F.	\$34.00	0	\$0.00
10" Sewer Main	L.F.	\$0.00	0	\$0.00
Sewer Manhole	Each	\$3,600.00	0	\$0.00
4" Sewer Lateral	Each	\$1,100.00	0	\$0.00

Irrigation	Units	Unit Cost	Quantity	Total Cost
4" PIRR Line	L.F.	\$0.00	0	\$0.00
6" PIRR Line	L.F.	\$19.00	0	\$0.00
6" PIRR Gate Valve	Each	\$0.00	0	\$0.00
8" PIRR Line	L.F.	\$0.00	0	\$0.00
12" PIRR Line	L.F.	\$0.00	0	\$0.00
36" GIRR Line	L.F.	\$60.00	0	\$0.00
6'x 6' GIRR Box	Each	\$0.00	0	\$0.00
PIRR Service + Lateral	Each	\$600.00	0	\$0.00
Irrigation Pond Excavation	C.Y.	\$0.00	0	\$0.00
Pump Station Installation	Each	\$78,000.00	0	\$0.00

<b>TOTAL CONSTRUCTION</b>	<b>\$507,150.00</b>
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<b>130% Of Total</b>	<b>\$ 659,295</b>
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March 23, 2026

**Re: North River Estates Testing/Inspection Packet Review Response Letter**

Dusty,

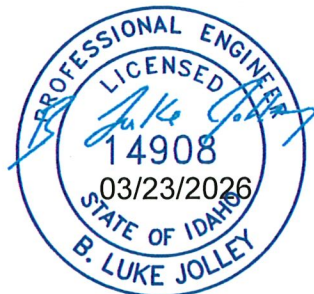
HLE was asked to write a response to the option of allowing the North River Estates to provide a warranty bond along with an extended warranty of the public infrastructure in leu of doing testing prior to excepting the infrastructure. It is my professional opinion that Bingham County should require the testing prior to accepting. The two main reasons are, Bingham County uses ISPWC as its standards specifications as does most of the public agencies in Idaho. Per ISPWC all work within the public ROW is to be tested to a specified standard. These standards are set to protect the governing agency, but it also creates equal requirements for each contractor/developer to follow to have a project excepted and turned over to the County. If this standard is overlooked for this project, it could very likely open the door to additional future developers and contractors that are unfamiliar with the County requirements to take the path of not providing the required data because the precedence would be set.

The second reason is based on the unknown of actually being able to collect on a warranty/maintenance bond. Who is the one providing the bond, the Contractor, the developer? The process to start the collection of the bond itself is not overly hard but it is a long drawn out process. The Bonding company will do a thorough investigation to see if it can be 100% proven that it was the fault of the bond holder and if they feel it was someone else's fault then it goes to court.

It is because of these unknowns and possible other future issues that HLE recommends the County to require the testing to better understand what level of risk they are accepting prior to approving the subdivisions infrastructure. The County may still choose to accept the warranty bond and extended warranty if the testing fails, but at least you will have a better handle of what the issues and levels of risk are.

If you have any questions please contact me at (208) 785-2977.

Sincerely,



B. Luke Jolley, PE

HLE, Inc.

Meeting Date: April 1, 2026  
Meeting Time: 11:30 am



## REQUEST FOR MEETING WITH BINGHAM COUNTY COMMISSIONERS FORM

The Board of County Commissioner's hold meetings various days throughout the week, which are coordinated with the Commission Clerk. Per Idaho Code §74-204(1), the Board cannot hold a meeting without less than 48 hours' notice and posting on the Commission Agenda. Any person(s) needing special accommodations should contact the Lindsey Gluch, Commission Clerk, at (208)785-3013.

Name: **Lindsey Gluch** (On behalf of **Scott Reese- Parks & Recreation Director**)

Email: **Lgluch@binghamid.gov**

Phone Number: **(208)782-3013** Address: **501 North Maple, Blackfoot**

1. What is the topic of discussion that you wish the Board to have?
  - a. **Discussion and decision regarding hiring a company to for landscaping/mowing of North Bingham Park and Sportsmans Park.**
2. Approximately how much time will you need for this agenda item?
  - a. **30 minutes**
3. Will you be requesting that the Board make a decision?

**Yes.**
4. Have all supporting documents been included with this form? If not, please note that your meeting may not be scheduled until all necessary documentation has been provided to the Commission Clerk.

**Yes.**
5. Please provide the name and contact information of the individuals that you would like to be invited to the meeting. (Include name, telephone number and email address if known)

**Scott Reese**

**Paul Rogers**

Please hand deliver or email this completed form, along with all supporting documents to Lindsey Gluch at [Lgluch@binghamid.gov](mailto:Lgluch@binghamid.gov), at least 24 hours prior to your scheduled meeting time.



# Idaho Classic Landscape and Sprinklers

53 North 740 West | Blackfoot, Idaho 83221  
 (208)782-3435 | idahoclassiclandscape@gmail.com | idahoclassic.com

**RECIPIENT:**

**Bingham County Parks and Recreation**

501 North Maple Street  
 Blackfoot, Idaho 83221

**Quote #248**

Sent on Mar 13, 2026

**Total \$41,811.56**

Product/Service	Description	Qty.	Total
NORTH PARK MOWING	WEEKLY LAWN MOWING WITH OUR EQUIPMENT Based on 30 weeks	30	\$8,850.00
SPORTSMAN'S PARK MOWING	WEEKLY LAWN MOWING WITH OUR EQUIPMENT Based on 30 weeks	30	\$9,750.00
NORTH PARK AGRONOMIC PROGRAM / APPROX 9.5 ACRES	FULL AGRONOMIC PROGRAM - APRIL APPLICATION / \$280 per acre Product: Lesco Dimension 19-3-6 PolyPlus Pre-Emergent Plus Fertilizer  - JUNE APPLICATION / \$435 per acre Products: Lesco Merit 24-0-8 Broad Spectrum Granular Insecticide Plus Fertilizer Three Way Post-Emergent liquid  - AUGUST APPLICATION / \$230 per acre Product: Lesco 32-3-8 Poly Plus OPTI (Stress Relief Blend)  - OCTOBER APPLICATION / \$280 per acre Product: Lesco Dimension 19-3-6 PolyPlus Pre-Emergent Plus Fertilizer	9.5	\$12,112.50



# Idaho Classic Landscape and Sprinklers

53 North 740 West | Blackfoot, Idaho 83221  
 (208)782-3435 | idahoclassiclandscape@gmail.com | idahoclassic.com

Product/Service	Description	Qty.	Total
SPORTSMAN'S PARK AGRONOMIC PROGRAM / APPROX 7.75 ACRES	<p>FULL AGRONOMIC PROGRAM</p> <p>- APRIL APPLICATION / \$280 per acre Product: Lesco Dimension 19-3-6 PolyPlus Pre-Emergent Plus Fertilizer</p> <p>- JUNE APPLICATION / \$435 per acre Products: Lesco Merit 24-0-8 Broad Spectrum Granular Insecticide Plus Fertilizer Three Way Post-Emergent liquid</p> <p>- AUGUST APPLICATION / \$230 per acre Product: Lesco 32-3-8 Poly Plus OPTI (Stress Relief Blend)</p> <p>- OCTOBER APPLICATION / \$280 per acre Product: Lesco Dimension 19-3-6 PolyPlus Pre-Emergent Plus Fertilizer</p>	7.75	\$9,881.25

<b>Subtotal</b>	\$40,593.75
<b>Credit Service Fee (3.0%)</b>	\$1,217.81
<b>Total</b>	<b>\$41,811.56</b>

## Reviews

**Nanette Kuntz**



We are so happy we chose Idaho Classic Landscaping for our project and can't wait to see the finished product. They are amazing at responding to any of our questions and also keep us updated is there's a delay and why.

**Joann Tominaga**



We were so happy with our landscaping. It exceeded our expectations with design and workmanship with the stone. They were timely and professional and their flexibility with the add ons that we thought of as the job unfolded was great. Who knew that we would be adding landscaping in January, in Idaho! We will be ready to enjoy it this spring! Thank you!

**Michelle Gray**



Beginning the summer of 2024, Idaho Classic has done a fairly long list of projects on my property, indoors and out. Every project was done with a professional attitude and results. Having purchased a home on an acre and built in 1988, the property suffered poor maintenance so it required a lot of work. Nothing has been optional or decorative. The most impressive job they did for me was to replace the rotten railroad ties in my very large window well, IE the basement egress. They did a beautiful job. With the new retaining walls, I no longer fe...

Danny Truman ~ Owner

Phone: (208) 681-9765

Fax: (208) 785-4399

# PRECISION LANDSCAPING

Full Service Landscapes & Designs

Complete Yard Maintenance \* Sprinkler Systems

Snow Removal

P.O. Box 1427

Blackfoot, Idaho 83221

2026 Yard Maintenance & Fertilizer

NORTH BINGHAM COUNTY PARK

587 E 1250 N

Shelley, ID 83274

1. SPRING CLEAN-UP

- Clean entire property & lawn areas of debris, thatch & mow lawn.
- Haul away all debris. Equipment & Labor \$ 4,500.00

2. MOW OF PROPERTY

APRIL X 2	\$ 1,550.00
MAY X 4	\$ 3,100.00
JUNE X 5	\$ 3,875.00
JULY X 4	\$ 3,100.00
AUGUST X 4	\$ 3,100.00
SEPTEMBER X 5	\$ 3,875.00
OCTOBER X 2	\$ 1,550.00

- Mow, Trim & haul away grass. Edge Sidewalks 2 times per month.
- Blow debris from Parking lot & all sidewalks.
- Work to be performed same day each week ( weather permitting)

3. FERTILIZER & WEED CONTROL

- 1<sup>st</sup> Application \* MARCH \* Sterilizer for gravel area \$ 550.00
- \* MARCH \* Fertilizer \$ 1,000.00
- 2<sup>nd</sup> Application \* MAY \* Broadleaf, Iron & Fertilizer Spray \$ 1,500.00
- 3<sup>rd</sup> Application \* SEPT. \* Broadleaf, Iron & Fertilizer Spray \$ 1,500.00

4. FALL CLEAN-UP

- DO BE DETERMINED

5. SPRINKLER MAINTENANCE

- If Repairs are needed \$ 45.00 per hour plus parts

TOTAL COST FOR 2026 SEASON \$ 29,200.00

X

If you have any questions, please feel free to contact me. Thank You

Danny Truman ~ Owner

Phone: (208) 681-9765

Fax: (208) 785-4399

# PRECISION LANDSCAPING

Full Service Landscapes & Designs

Complete Yard Maintenance \* Sprinkler Systems

Snow Removal

P.O. Box 1427

Blackfoot, Idaho 83221

## 2026 Yard Maintenance & Fertilizer

SPORTSMANS PARK

2424 W 1700 S

Aberdeen, ID 83210

### 1. SPRING CLEAN-UP

- Clean entire property & lawn areas of debris, thatch & mow lawn.
- Haul away all debris. Equipment & Labor \$ 4,500.00

### 2. MOW OF PROPERTY

APRIL X 2	\$ 1,550.00
MAY X 4	\$ 3,100.00
JUNE X 5	\$ 3,875.00
JULY X 4	\$ 3,100.00
AUGUST X 4	\$ 3,100.00
SEPTEMBER X 5	\$ 3,875.00
OCTOBER X 2	\$ 1,550.00

- Mow, Trim & haul away grass. Edge Sidewalks 2 times per month.
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- \* MARCH \* Fertilizer \$ 1,000.00
- 2<sup>nd</sup> Application \* MAY \* Broadleaf, Iron & Fertilizer Spray \$ 1,500.00
- 3<sup>rd</sup> Application \* SEPT. \* Broadleaf, Iron & Fertilizer Spray \$ 1,500.00

### 4. FALL CLEAN-UP

- DO BE DETERMINED

### 5. SPRINKLER MAINTENANCE

- If Repairs are needed \$ 45.00 per hour plus parts

**TOTAL COST FOR 2026 SEASON \$ 29,200.00**

**X**

you have any questions, please feel free to contact me. Thank You